

**SUBDIVISION MAP OF  
HACIENDA VICTORIA  
ESTATES SUBDIVISION**  
BEING 25.224 ACRES  
OUT OF LOT 8, SECTION 267,  
TEXAS-MEXICAN RAILWAY  
COMPANY'S SURVEY SUBDIVISION  
HIDALGO COUNTY, TEXAS

- GENERAL PLAT NOTES & RESTRICTIONS:  
HIDALGO COUNTY GENERAL SUBDIVISION PLAT NOTES
- FLOOD ZONE STATEMENT:  
FLOOD ZONE DESIGNATION: ZONE "X" (SHADED)  
AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD. COMMUNITY-PANEL NUMBER: 480334 0325 D MAP REVISED: JUNE 6, 2000. REVISED TO REFLECT LOMR: MAY 17, 2001.
  - FRONTS:  
25.00 FEET  
REAR: 15.00 FEET OR EASEMENT WHICHEVER IS GREATER  
SIDE: 6.00 FEET OR EASEMENT WHICHEVER IS GREATER  
CORNER SIDE: 10.00 FEET OR EASEMENT WHICHEVER IS GREATER
  - THIS DEVELOPMENT IS FOR SINGLE-FAMILY USE, NO MORE THAN ONE SINGLE-FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS.
  - MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB OF STREET OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME OF APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISHED FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.
  - THE FOLLOWING BENCHMARKS ARE IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS:  
--BM. NO. 1--ELEV. 80.48 N.G.V.D. 29 DESCRIPTIONS: SQUARE CUT ON TOP OF EXISTING CURB IN LOT 15, N 81° 01' 45" E, ELEV=80.48  
--BM. NO. 2--DESCRIPTIONS: SET BM IN CONCRETE SOUTHWEST CORNER OF LOT 31, N 186° 32' 28.5" E, ELEV=80.41  
--BM. NO. 3--DESCRIPTIONS: SET BM IN CONCRETE SOUTHWEST CORNER OF LOT 39, N 166° 32' 29.4" O, ELEV=80.41
  - IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 137,855 CUBIC FEET (3.165 ACRE-FEET) OF STORM WATER RUNOFF. DRAINAGE RETENTION SHALL BE ACCOMPLISHED AS FOLLOWS: (SEE SHEET NO. 3 FOR STORM SEWER IMPROVEMENTS). THE DEVELOPER SHALL BE RESPONSIBLE TO DETAIN AND ACCOMMODATE MORE THAN THE DETAINED VOLUME SHOWN ABOVE IF IT IS DETERMINED AT THE DEVELOPMENT PERMIT STAGE ABOVE DUE TO THE PREVIOUS AREA BEING GREATER THAN PLAT ENGINEER CONSIDERED FOR HIS CALCULATIONS OF THIS SUBDIVISION.
  - ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISH GRADE FROM THE REAR OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 1% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY APPENDIX 5: COUNTY CONSTRUCTION.
  - NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
  - EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHAT WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
  - ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER UTILITY EASEMENTS COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.
  - THERE ARE NO VISIBLE WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION.
  - CLEARANCES FOR WATER METERS: (ONLY FOR LOTS BEING AS PER LOCAL GOVERNMENT CODE REQUIREMENTS; SANITARY SEWER MUST BE CONNECTED TO A RESIDENCE PRIOR TO THE COUNTY PROCESSING A FINAL CLEARANCE FOR A WATER METER. A SEWER TAP INSPECTION SHALL BE PROVIDED FROM AN ENTITY SERVICE PROVIDER PRIOR TO RECEIVING A CLEARANCE FOR WATER METER(S)).
  - LOTS 1-7 SHALL NOT HAVE ACCESS ONTO E. RICHARDSON ROAD. DEVELOPER TO INSTALL BUFFER FENCE ADJUTING RICHARDSON ROAD.
  - EACH LOT SHALL HAVE ITS OWN WATER METER.
  - 5' SIDEWALK WITH ADA RAMPS FOR ALL INTERIOR STREETS IS REQUIRED AT BUILDING PERMIT STAGE AND ALSO A 5' SIDEWALK WITH ADA RAMPS IS REQUIRED ALONG E. RICHARDSON ROAD DURING SUBDIVISION DEVELOPMENT STAGE.
  - ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPP) REQUIREMENTS.
  - ALL BEARING AND DISTANCES ARE BASED ON GRID COORDINATES.
  - THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED AT THE DEVELOPMENT STAGE THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
  - AS PER THE CITY OF EDINBURG FIRE MARSHALL, LOT 7 SHALL AN EMERGENCY ACCESS DRIVE EASEMENT. THE DRIVE SHALL BE REMOVED AT THE EXPIRE. THE DEVELOPER OWNS THE ADJACENT PROPERTY IS DEVELOPED AND A SECOND POINT OF INGRESS AND EGRESS HAS BEEN ESTABLISHED.

Lot#	Area
1	8,670.54
2	8,670.54
3	8,019.44
4	12,450.70
5	9,643.36
6	8,067.27
7	8,042.96
8	7,384.46
9	9,365.09
10	13,908.49
11	10,117.08
12	8,346.59
13	7,295.20
14	9,365.68
15	17,340.82
16	11,448.45
17	10,809.20
18	8,545.31
19	8,545.31
20	8,008.28
21	8,008.28
22	8,008.28
23	8,008.28
24	8,008.28
25	8,008.28
26	8,008.28
27	8,008.28
28	8,008.28
29	8,008.28
30	8,008.28
31	10,117.08
32	8,346.59
33	7,295.20
34	9,365.68
35	17,340.82
36	11,448.45
37	10,809.20
38	8,545.31
39	8,545.31
40	8,008.28
41	8,008.28
42	8,008.28
43	8,008.28
44	8,008.28
45	8,008.28
46	8,008.28
47	8,008.28
48	8,008.28
49	8,008.28
50	8,008.28
51	8,008.28
52	8,008.28
53	8,008.28
54	8,008.28
55	8,008.28
56	8,008.28
57	8,008.28
58	8,008.28
59	8,008.28
60	8,008.28
61	8,008.28
62	8,008.28
63	8,008.28
64	8,008.28
65	8,008.28
66	8,008.28
67	8,008.28
68	8,008.28
69	8,008.28
70	8,008.28
71	8,008.28
72	8,008.28
73	8,008.28
74	8,008.28
75	8,008.28
76	8,008.28
77	8,008.28
78	8,008.28
79	8,008.28
80	8,008.28
81	8,008.28
82	8,008.28
83	8,008.28
84	8,008.28
85	8,008.28
86	8,008.28
87	8,008.28
88	8,008.28
89	8,008.28
90	8,008.28
91	8,008.28
92	8,008.28
93	8,008.28
94	8,008.28
95	8,008.28
96	8,008.28
97	8,008.28
98	8,008.28
99	8,008.28
100	8,008.28
101	8,008.28

Curve #	Delta	Radius	Length	Chord	Chord Direction	Tangent
1	60° 16' 40"	50.00	52.60	N21° 07' 07" W	50.21'	29.03'
2	60° 10' 45"	50.00	52.52	N39° 06' 39" E	50.14'	28.97'
3	60° 19' 40"	50.00	52.59	S80° 40' 06" E	50.20'	29.02'
4	29° 30' 28"	50.00	25.79	S55° 46' 59" E	25.47'	13.17'
5	24° 29' 52"	50.00	21.38	N51° 13' 11" E	21.22'	10.89'
6	52° 18' 00"	50.00	45.94	N89° 37' 10" E	44.07'	24.55'
7	58° 39' 25"	50.00	51.13	S34° 56' 04" E	48.95'	28.05'
8	74° 22' 30"	50.00	64.91	S31° 32' 57" W	60.44'	37.94'

RIGHT OF WAY EASEMENT  
KNOWN ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, OWNERS OF THE PROPERTY SHOWN ON THIS PLAT, THEIR SUCCESSORS, ASSIGNS, AND TRANSFEREES (HEREINAFTER CALLED "GRANTOR") WHETHER ONE OR MORE PERSONS ARE NAMED, IN CONSIDERATION OF ONE DOLLAR (\$1.00) AND OTHER GOOD AND VALUABLE CONSIDERATION PAID BY NORTH ALAMO WATER SUPPLY CORPORATION, (HEREINAFTER CALLED "GRANTEE"), THE RECEIPT AND SUFFICIENCY OF WHICH IS HEREBY ACKNOWLEDGED, DOES HEREBY GRANT, BARGAIN, SELL, TRANSFER AND CONVEY TO SAID GRANTEE, ITS SUCCESSORS AND ASSIGNS, AN EXCLUSIVE PERPETUAL EASEMENT WITH THE RIGHT TO ERECT, CONSTRUCT, INSTALL AND LAY AND THEREAFTER USE, OPERATE, INSPECT, REPAIR, MAINTAIN, REPLACE AND REMOVE WATER DISTRIBUTION LINES AND APPURTENANCES OVER AND ACROSS THE LANDS SHOWN ON THIS PLAT, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE, FOR WHICH THE ABOVE-MENTIONED RIGHTS ARE GRANTED. THE EASEMENT HEREBY GRANTED SHALL NOT EXCEED 15' IN WIDTH, AND GRANTEE IS HEREBY AUTHORIZED TO DESIGNATE THE COURSE OF THE EASEMENT HEREIN CONVEYED EXCEPT THAT WHEN THE PIPELINES IS INSTALLED, THE EASEMENT HEREIN GRANTED SHALL BE LIMITED TO A STRIP OF LAND 15' IN WIDTH, THE CENTER LINE THEREOF BEING THE PIPELINE INSTALLED.

IN THE EVENT THE EASEMENT HEREBY GRANTED ABUTS ON A PUBLIC ROAD AND THE CITY, COUNTY OR STATE HEREAFTER WIDENS OR RELOCATES THE PUBLIC ROAD SO AS TO REQUIRE THE RELOCATION OF THIS WATER LINE AS INSTALLED, GRANTEE FURTHER GRANTS TO GRANTEE AN ADDITIONAL EASEMENT OVER AND ACROSS THE LAND SHOWN ON THIS PLAT FOR THE PURPOSE OF LATERALLY RELOCATING SAID WATER LINE AS MAY BE NECESSARY TO CLEAR THE ROAD IMPROVEMENTS, WHICH EASEMENT HEREBY GRANTED SHALL BE LIMITED TO A STRIP OF LAND 15' IN WIDTH, THE CENTER LINE THEREOF BEING THE PIPELINE AS RELOCATED.

THE CONSIDERATION RECITED HEREIN SHALL CONSTITUTE PAYMENT IN FULL FOR ALL DAMAGES SUSTAINED BY GRANTEE BY REASON OF THE INSTALLATION, MAINTENANCE, REPAIR, REPLACEMENT AND RELOCATION OF THE STRUCTURES REFERRED TO HEREIN. THIS AGREEMENT TOGETHER WITH OTHER PROVISIONS OF THIS GRANT SHALL CONSTITUTE AN EASEMENT FOR THE BENEFIT OF THE GRANTEE, ITS SUCCESSORS, AND ASSIGNS. THE GRANTEE COVENANTS THAT IT IS THE OWNER OF THE ABOVE-DESCRIBED LANDS AND THAT SAID LANDS ARE FREE AND CLEAR OF ALL ENCUMBRANCES AND LIENS, EXCEPT THE FOLLOWING:

THE EASEMENT CONVEYED HEREIN WAS OBTAINED OR IMPROVED THROUGH FEDERAL FINANCIAL ASSISTANCE. THIS EASEMENT IS SUBJECT TO THE PROVISIONS OF THE TITLE VI OF THE CIVIL RIGHTS ACT OF 1964 AND THE REGULATIONS ISSUED PURSUANT THERETO FOR SO LONG AS THE EASEMENT CONTINUES TO BE USED FOR THE SAME OR SIMILAR PURPOSE FOR WHICH FINANCIAL ASSISTANCE WAS EXTENDED OR FOR SO LONG AS THE GRANTEE OWNS IT, WHICHEVER IS LONGER.

IN WITNESS WHEREOF, THE SAID GRANTEE HAS EXECUTED THIS INSTRUMENT THE 11 DAY OF APRIL 20 21.

(GRANTOR'S SIGNATURE)

ACKNOWLEDGMENT  
THE STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED Lydia Flores (KNOWN TO ME TO BE THE PERSON(S) WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE (SHE) (THEY) EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE 11 DAY OF April 21

NOTARY PUBLIC, STATE OF TEXAS  
MY COMMISSION EXPIRES:

IN WITNESS WHEREOF, THE SAID GRANTEE HAS EXECUTED THIS INSTRUMENT THE 11 DAY OF April 21

**HIDALGO COUNTY  
CERTIFICATE OF PLAT APPROVAL  
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1**

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1  
RAUL E. SASSIN, P.E., C.E.M.  
GENERAL MANAGER

DATE: 01-04-2022

METES AND BOUNDS DESCRIPTION  
A TRACT OF LAND CONTAINING 25.141 ACRES SITUATED IN HIDALGO COUNTY TEXAS, BEING A PART OR PORTION OUT OF LOT 8, SECTION 267, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGE 20, HIDALGO COUNTY MAP RECORDS, SAID 25.141 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

- THIS PLAT APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 ON THIS THE 18 DAY OF April 20 21.
- HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION, ALSO, THERE WILL NOT BE ANY PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAYS AND ADJACENT EASEMENTS.
- NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON THE HCD#1 RIGHT-OF-WAYS OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF HCD#1.
- Robert L. Bell PRESIDENT  
Mark Hays SECRETARY
- THENCE, S 08° 44' 15" W ALONG THE EAST LINE OF SAID LOT 8, AT A DISTANCE OF 50.00 FEET PASS A NO. 4 REBAR FOUND ON THE EXISTING SOUTH RIGHT-OF-WAY LINE OF E. RICHARDSON ROAD, CONTINUING A TOTAL DISTANCE OF 1,695.92 FEET TO A NO. 4 REBAR SET IN 166° 32' 28.5" E, ELEV=80.41 ON THE SOUTHWEST CORNER OF SAID LOT 8, FOR THE SOUTHWEST CORNER OF THIS TRACT;
  - THENCE, N 81° 01' 45" W ALONG THE SOUTH LINE OF SAID LOT 8, A DISTANCE OF 696.51 FEET TO A NO. 4 REBAR SET, FOR THE SOUTHWEST CORNER OF THIS TRACT;
  - THENCE, N 08° 44' 15" E A DISTANCE OF 1,265.92 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
  - THENCE, S 81° 01' 45" E A DISTANCE OF 179.75 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
  - THENCE, N 08° 44' 15" E AT A DISTANCE OF 390.00 FEET PASS AN IRON PIPE FOUND ON THE EXISTING SOUTH RIGHT-OF-WAY LINE OF E. RICHARDSON ROAD, CONTINUING A TOTAL DISTANCE OF 440.00 FEET TO A NAIL SET ON THE NORTH LINE OF SAID LOT 8, FOR THE NORTHWEST CORNER OF THIS TRACT;
  - THENCE, S 81° 01' 45" E ALONG THE NORTH LINE OF SAID LOT 8 AND WITHIN THE EXISTING RIGHT-OF-WAY OF E. RICHARDSON ROAD, A DISTANCE OF 116.75 FEET TO THE POINT OF BEGINNING AND CONTAINING 25.141 ACRES OF LAND, MORE OR LESS.

LOCATION OF SUBDIVISION WITH RESPECT TO THE CITY OF EDINBURG EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY.

HACIENDA VICTORIA ESTATES SUBDIVISION IS LOCATED IN THE SOUTHWEST PART OF HIDALGO COUNTY ON THE SOUTH SIDE OF E. RICHARDSON ROAD, APPROXIMATELY 0.43 OF ONE MILE EAST OF ITS INTERSECTION WITH ALAMO ROAD. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF EDINBURG (POPULATION 83,870). HACIENDA VICTORIA ESTATES SUBDIVISION LIES APPROXIMATELY 0.1 MILE FROM THE CITY LIMITS (AND IS WITHIN THE 1 MILE EXTRATERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021. THIS SUBDIVISION FALLS WITHIN PRECINCT 4.

DRAWN BY: EM DATE: 01-27-2020  
SURVEYED, CHECKED: DATE  
FINAL CHECK: DATE

OWNER: KYNDEL W. BENNETT 11410 NORTH F.M. 493 DONNA, TEXAS 78537  
ENGINEER: MARIO A. REYNA 115 W. McINTYRE 115 W. McINTYRE (956) 381-0981 (956) 381-1839  
SURVEYOR: FRED L. KURTH 115 W. McINTYRE (956) 381-0981 (956) 381-1839

HIDALGO COUNTY  
CERTIFICATE OF PLAT APPROVAL  
UNDER LOCAL GOVERNMENT CODE § 232.028 (A)

WE, THE UNDER SIGNED CERTIFY THAT THIS PLAT OF HACIENDA VICTORIA ESTATES SUBDIVISION WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.

Robert L. Bell 1/12/2022  
HIDALGO COUNTY JUDGE

ATTEST: Arturo Guajardo, Jr. 1/14/2022  
HIDALGO COUNTY CLERK

4-27-21 MM

"I, THE UNDERSIGNED, CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT KNOWN AS HACIENDA VICTORIA ESTATES SUBDIVISION CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION RECORD STATUTES OF THIS CITY, WHEREIN MY APPROVAL IS REQUIRED AND HAS BEEN APPROVED FOR RECORDING ON THE 11th DAY OF April 2021."

CHAIRPERSON PLANNING AND ZONING COMMISSION

I, THE UNDERSIGNED, MAYOR OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

Lydia Flores  
MAYOR CITY OF EDINBURG

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

Mario A. Reyna 4-1-21  
DATE: 4-1-21  
MARIO A. REYNA, P.E. # 117368  
DATE PREPARED: 2-27-2020  
ENGINEERING JOB NO. 19167.00

MELDEN & HUNT, INC.  
TEXAS REGISTRATION F-1435

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, FRED L. KURTH, A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE HEREIN PRESENTED PLAT AND DESCRIPTION OF HACIENDA VICTORIA ESTATES SUBDIVISION, WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON 10/20/19, AND THAT IT IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

Fred L. Kurth 3-31-21  
DATE: 3-31-21  
FRED L. KURTH, P.L.S. # 4750  
DATE SURVEYED: 10/21/2019  
1-1084, PG.52  
SURVEY JOB NO. 19167.02-08

**HIDALGO COUNTY  
CERTIFICATE OF PLAT APPROVAL  
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1**

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1  
RAUL E. SASSIN, P.E., C.E.M.  
GENERAL MANAGER

DATE: 01-04-2022

METES AND BOUNDS DESCRIPTION  
A TRACT OF LAND CONTAINING 25.141 ACRES SITUATED IN HIDALGO COUNTY TEXAS, BEING A PART OR PORTION OUT OF LOT 8, SECTION 267, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGE 20, HIDALGO COUNTY MAP RECORDS, SAID 25.141 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

- THIS PLAT APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 ON THIS THE 18 DAY OF April 20 21.
- HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION, ALSO, THERE WILL NOT BE ANY PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAYS AND ADJACENT EASEMENTS.
- NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON THE HCD#1 RIGHT-OF-WAYS OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF HCD#1.
- Robert L. Bell PRESIDENT  
Mark Hays SECRETARY
- THENCE, S 08° 44' 15" W ALONG THE EAST LINE OF SAID LOT 8, AT A DISTANCE OF 50.00 FEET PASS A NO. 4 REBAR FOUND ON THE EXISTING SOUTH RIGHT-OF-WAY LINE OF E. RICHARDSON ROAD, CONTINUING A TOTAL DISTANCE OF 1,695.92 FEET TO A NO. 4 REBAR SET IN 166° 32' 28.5" E, ELEV=80.41 ON THE SOUTHWEST CORNER OF SAID LOT 8, FOR THE SOUTHWEST CORNER OF THIS TRACT;
  - THENCE, N 81° 01' 45" W ALONG THE SOUTH LINE OF SAID LOT 8, A DISTANCE OF 696.51 FEET TO A NO. 4 REBAR SET, FOR THE SOUTHWEST CORNER OF THIS TRACT;
  - THENCE, N 08° 44' 15" E A DISTANCE OF 1,265.92 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
  - THENCE, S 81° 01' 45" E A DISTANCE OF 179.75 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
  - THENCE, N 08° 44' 15" E AT A DISTANCE OF 390.00 FEET PASS AN IRON PIPE FOUND ON THE EXISTING SOUTH RIGHT-OF-WAY LINE OF E. RICHARDSON ROAD, CONTINUING A TOTAL DISTANCE OF 440.00 FEET TO A NAIL SET ON THE NORTH LINE OF SAID LOT 8, FOR THE NORTHWEST CORNER OF THIS TRACT;
  - THENCE, S 81° 01' 45" E ALONG THE NORTH LINE OF SAID LOT 8 AND WITHIN THE EXISTING RIGHT-OF-WAY OF E. RICHARDSON ROAD, A DISTANCE OF 116.75 FEET TO THE POINT OF BEGINNING AND CONTAINING 25.141 ACRES OF LAND, MORE OR LESS.

LOCATION OF SUBDIVISION WITH RESPECT TO THE CITY OF EDINBURG EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY.

HACIENDA VICTORIA ESTATES SUBDIVISION IS LOCATED IN THE SOUTHWEST PART OF HIDALGO COUNTY ON THE SOUTH SIDE OF E. RICHARDSON ROAD, APPROXIMATELY 0.43 OF ONE MILE EAST OF ITS INTERSECTION WITH ALAMO ROAD. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF EDINBURG (POPULATION 83,870). HACIENDA VICTORIA ESTATES SUBDIVISION LIES APPROXIMATELY 0.1 MILE FROM THE CITY LIMITS (AND IS WITHIN THE 1 MILE EXTRATERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021. THIS SUBDIVISION FALLS WITHIN PRECINCT 4.

DRAWN BY: EM DATE: 01-27-2020  
SURVEYED, CHECKED: DATE  
FINAL CHECK: DATE

OWNER: KYNDEL W. BENNETT 11410 NORTH F.M. 493 DONNA, TEXAS 78537  
ENGINEER: MARIO A. REYNA 115 W. McINTYRE 115 W. McINTYRE (956) 381-0981 (956) 381-1839  
SURVEYOR: FRED L. KURTH 115 W. McINTYRE (956) 381-0981 (956) 381-1839

STATE OF TEXAS  
COUNTY OF

OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

I, KYNDEL W. BENNETT, AS OWNER OF THE 25.141 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED HACIENDA VICTORIA ESTATES SUBDIVISION, HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATED TO PUBLIC USE THE STREET(S), PARK, AND EASEMENTS SHOWN HEREIN.

I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE § 232.032 AND THAT

(A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS;  
(B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET THE MINIMUM REQUIREMENTS OF STATE STANDARDS;  
(C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS; AND  
(D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS.

I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

SE-DVIC INVESTORS, LP., A TEXAS LIMITED LIABILITY COMPANY

"I, THE UNDERSIGNED, CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT KNOWN AS HACIENDA VICTORIA ESTATES SUBDIVISION CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION RECORD STATUTES OF THIS CITY, WHEREIN MY APPROVAL IS REQUIRED AND HAS BEEN APPROVED FOR RECORDING ON THE 11th DAY OF April 2021."

CHAIRPERSON PLANNING AND ZONING COMMISSION

I, THE UNDERSIGNED, MAYOR OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

Lydia Flores  
MAYOR CITY OF EDINBURG

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

Mario A. Reyna 4-1-21  
DATE: 4-1-21  
MARIO A. REYNA, P.E. # 117368  
DATE PREPARED: 2-27-2020  
ENGINEERING JOB NO. 19167.00

MELDEN & HUNT, INC.  
TEXAS REGISTRATION F-1435

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, FRED L. KURTH, A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE HEREIN PRESENTED PLAT AND DESCRIPTION OF HACIENDA VICTORIA ESTATES SUBDIVISION, WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON 10/20/19, AND THAT IT IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

Fred L. Kurth 3-31-21  
DATE: 3-31-21  
FRED L. KURTH, P.L.S. # 4750  
DATE SURVEYED: 10/21/2019  
1-1084, PG.52  
SURVEY JOB NO. 19167.02-08

**HIDALGO COUNTY  
CERTIFICATE OF PLAT APPROVAL  
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1**

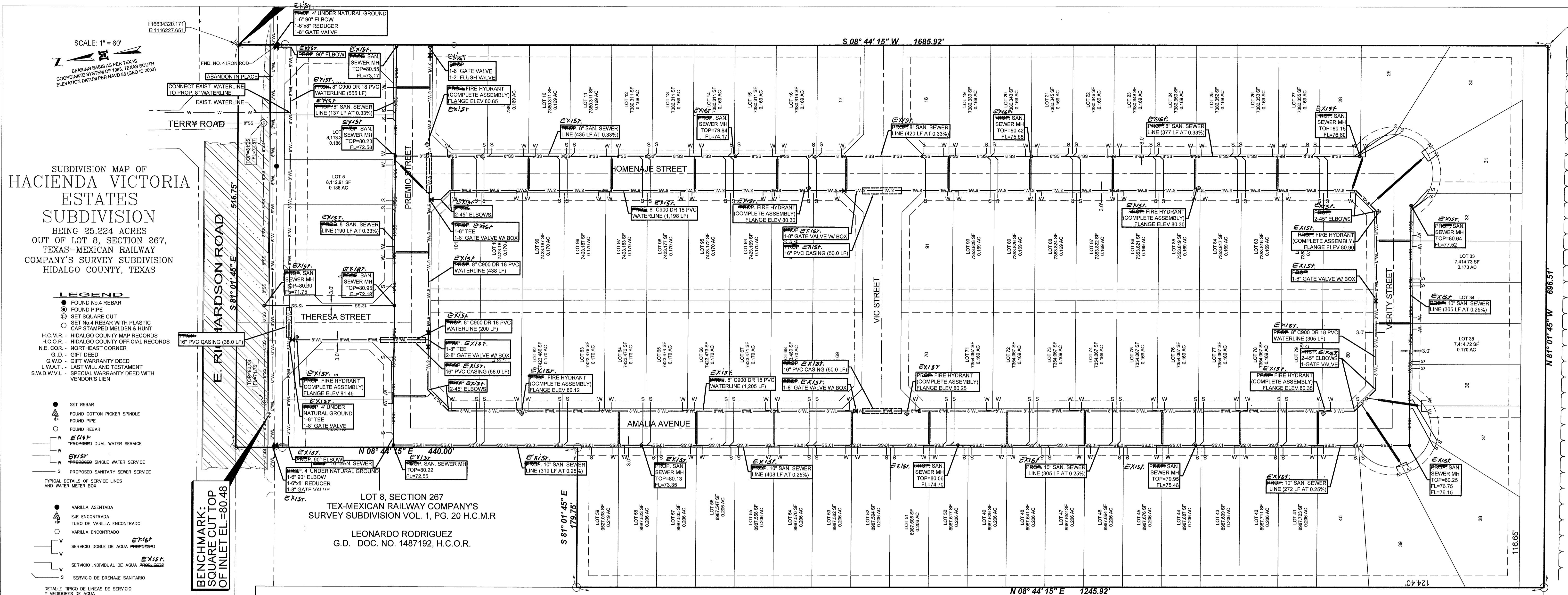
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1  
RAUL E. SASSIN, P.E., C.E.M.  
GENERAL MANAGER

DATE: 01-04-2022

METES AND BOUNDS DESCRIPTION  
A TRACT OF LAND CONTAINING 25.141 ACRES SITUATED IN HIDALGO COUNTY TEXAS, BEING A PART OR PORTION OUT OF LOT 8, SECTION 267, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGE 20, HIDALGO COUNTY MAP RECORDS, SAID 25.141 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:





**SUBDIVISION MAP OF HACIENDA VICTORIA ESTATES SUBDIVISION**  
 BEING 25.224 ACRES  
 OUT OF LOT 8, SECTION 267,  
 TEXAS-MEXICAN RAILWAY  
 COMPANY'S SURVEY SUBDIVISION  
 HIDALGO COUNTY, TEXAS

- LEGEND**
- FOUND NO. 4 REBAR
  - SET SQUARE CUT
  - SET NO. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
  - H.C.M.R. - HIDALGO COUNTY MAP RECORDS
  - H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
  - N.E. COR. - NORTHEAST CORNER
  - G.D. - GIFT DEED
  - G.W.D. - GIFT WARRANTY DEED
  - L.W.A.T. - LAST WILL AND TESTAMENT
  - S.W.D.W.V.L. - SPECIAL WARRANTY DEED WITH VENDOR'S LIEN
- SET REBAR  
 ● FOUND COTTON PICKER SPINDLE  
 ○ FOUND PIPE  
 ○ FOUND REBAR  
 W EXIST. PROPOSED DUAL WATER SERVICE  
 W EXIST. PROPOSED SINGLE WATER SERVICE  
 S PROPOSED SANITARY SEWER SERVICE  
 TYPICAL DETAILS OF SERVICE LINES AND WATER METER BOX
- VARILLA ASENTADA  
 ● E.E. ENCONTRADA  
 ● TUBO DE VARILLA ENCONTRADO  
 ● VARILLA ENCONTRADO  
 ● SERVICIO DOBLE DE AGUA PROPROSIO  
 ● SERVICIO INDIVIDUAL DE AGUA PROPROSIO  
 ● SERVICIO DE DRENAJE SANITARIO
- DETALLE TIPO DE LINEAS DE SERVICIO Y MEDIDORES DE AGUA

**MAP OF WATER DISTRIBUTION SYSTEM  
 MAPA DE SISTEMA DE DISTRIBUCION DE AGUA**

ENGINEERING REPORT FOR HACIENDA VICTORIA ESTATES SUBDIVISION  
 BY: MARIO A. REYNA  
 WATER SUPPLY, DESCRIPTION, COSTS, AND OPERABILITY DATE

HACIENDA VICTORIA ESTATES SUBDIVISION WILL BE PROVIDED WITH POTABLE WATER BY NORTH ALAMO WATER SUPPLY CORPORATION (N.A.W.S.C.). THE SUBDIVIDER AND N.A.W.S.C. HAVE ENTERED INTO A CONTRACT IN WHICH N.A.W.S.C. HAS PROMISED TO PROVIDE SUFFICIENT WATER TO THE SUBDIVISION FOR AT LEAST 30 YEARS AND N.A.W.S.C. HAS PROVIDED DOCUMENTATION TO SUFFICIENTLY ESTABLISH THE LONG TERM QUANTITY AND QUALITY OF THE AVAILABLE WATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF THIS SUBDIVISION.

N.A.W.S.C. HAS AN EXISTING 8" DIAMETER WATER LINE RUNNING ALONG THE SOUTH SIDE OF THE RIGHT-OF-WAY OF E. RICHARDSON ROAD. THE WATER SYSTEM FOR HACIENDA VICTORIA ESTATES SUBDIVISION CONSISTS OF A 8" WATER LINE THAT TAPS INTO THE EXISTING 8" LINE AT A LOCATION, AN 8" WATER LINE CONNECT TO THE PREVIOUSLY MENTIONED 8" WATER LINE ALONG THE SOUTH SIDE OF E. RICHARDSON ROAD AND RUNS SOUTH ALONG THE WEST SIDE OF THERESA STREET. RIGHT-OF-WAY THEN CONNECT WITH A TEE. THE 8" WATER LINE RUNS EAST ALONG THE SOUTH RIGHT-OF-WAY OF PREMIO STREET TO THE NORTHEAST CORNER OF LOT 8 ENDING WITH A 2" FLUSH VALVE. ANOTHER 8" WATER LINE CONNECT TO THE PREVIOUSLY MENTIONED 8" WATER LINE AT THE NORTHEAST CORNER OF LOT 101 THEN RUNS SOUTH ALONG THE WEST RIGHT-OF-WAY OF HOMENAJE STREET THEN TURNS WEST AT THE SOUTHWEST CORNER OF LOT 81 RUNNING ALONG THE NORTH RIGHT-OF-WAY OF VERITY STREET THEN TURNS NORTH AT THE SOUTHWEST CORNER OF LOT 80 THEN RUNS NORTH ALONG THE EAST SIDE OF AMALIA AVENUE RIGHT-OF-WAY THEN TURNS EAST AND CONNECTS WITH THE TEE. IN ORDER TO SERVE THIS SUBDIVISION.

WATER DISTRIBUTION FOR THE HACIENDA VICTORIA ESTATES SUBDIVISION CONSISTS OF 46-3/4" DIAMETER DOUBLE SERVICE LINES AND 9-3/4" DIAMETER SINGLE SERVICE LINES. SAID SERVICES TERMINATE AT THE WATER METER BOXES FOR EACH LOT. THE 8" LINE, THE DUAL SERVICES AND 3" SINGLE SERVICES; AND THE METER BOXES HAVE ALREADY BEEN INSTALLED AT A TOTAL COST OF \$188,800.00 OR \$1,889.36 PER LOT. IN ADDITION, THE SUBDIVIDER HAS PAID N.A.W.S.C. THE SUM OF \$132,350.00 WHICH COVERS THE \$1,300.00 COST PER LOT AS STATED IN THE 30 YEAR WATER SERVICE AGREEMENT WHICH SUM REPRESENTS THE TOTAL COST OF WATER METER RIGHTS ACQUISITION FEES, AND ALL MEMBERSHIP OR OTHER FEES ASSOCIATED WITH CONNECTING THE INDIVIDUAL LOTS IN THE SUBDIVISION TO N.A.W.S.C. UPON REQUEST BY THE LOT OWNER, N.A.W.S.C. WILL PROMPTLY INSTALL AT NO CHARGE THE WATER METER FOR THAT LOT. THE SUBDIVIDER HAS INSTALLED 9 FIRE HYDRANTS AT A UNIT COST OF \$4,500.00 FOR A TOTAL COST OF \$36,000.00. THE ENTIRE WATER FACILITIES HAVE BEEN APPROVED AND ACCEPTED BY N.E.W.S.C. AND SAID DISTRIBUTION SYSTEM IS OPERABLE AS OF THE DATE OF THE RECORDING OF THE PLAT.

ENGINEER CERTIFICATION:  
 BY MY SIGNATURE BELOW, I CERTIFY THAT THE WATER AND SEWAGE SERVICE FACILITIES DESCRIBED ABOVE ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.343, WATER CODE. I CERTIFY THAT THE COSTS TO INSTALL THE WATER AND SEWAGE FACILITIES, DISCUSSED ABOVE, ARE AS FOLLOWS:

WATER FACILITIES - THESE FACILITIES FULLY CONSTRUCTED, WITH THE INSTALLATION OF WATER METERS, WILL COST A GRAND TOTAL OF \$ 321,153.00 WHICH EQUALS TO \$ 3,179.75 PER LOT.

SEWAGE FACILITIES - SEWAGE SYSTEM IS ESTIMATED TO COST \$3,415.54 PER LOT (ALL INCLUSIVE), FOR A TOTAL OF \$344,970.00 FOR THE ENTIRE SUBDIVISION.

ENGINEER'S SIGNATURE: *M. Reyna* DATE: 3-31-21

DRAWN BY: EM DATE: 01-28-2020  
 SURVEYED, CHECKED: DATE:  
 FINAL CHECK: DATE:

**MELDEN & HUNT INC.**  
 CONSULTANTS • ENGINEERS • SURVEYORS

115 W. McINTYRE - EDINBURG, TX 78841  
 PH: (956) 381-0981 - FAX: (956) 381-1839  
 ESTABLISHED 1947 - www.meldenandhunt.com

**MAP OF WASTEWATER DISTRIBUTION SYSTEM  
 MAPA DE SISTEMA DE DISTRIBUCION DE DRENAJE**

ENGINEERING REPORT FOR HACIENDA VICTORIA ESTATES SUBDIVISION  
 BY: MARIO A. REYNA  
 SEWAGE FACILITIES DESCRIPTION, COST AND OPERABILITY DATE

SEWAGE FROM HACIENDA VICTORIA ESTATES SUBDIVISION WILL BE TREATED BY N.A.W.S.C. THE SUBDIVIDER AND N.A.W.S.C. HAVE ENTERED INTO A CONTRACT IN WHICH THE N.A.W.S.C. HAS PROMISED TO TREAT THE SUFFICIENT WASTEWATER FOR AT LEAST 30 YEARS AND THE N.A.W.S.C. HAS PROVIDED DOCUMENTATION TO SUFFICIENTLY ESTABLISH THE LONG TERM QUANTITY AND QUALITY OF THE AVAILABLE WASTEWATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF THIS SUBDIVISION.

N.A.W.S.C. HAS AN EXISTING SANITARY SEWER LINE ALONG THE SOUTH SIDE OF THE E. RICHARDSON ROAD RIGHT-OF-WAY.

THE WASTEWATER SYSTEM FOR HACIENDA VICTORIA ESTATES SUBDIVISION WILL CONSIST OF A 12" DIAMETER SEWER LINE THAT TAPS INTO THE EXISTING SANITARY SEWER LINE WITH A PROPOSED MANHOLE. THIS 12" LINE THEN RUNS SOUTH TO THE EAST RIGHT-OF-WAY OF THERESA STREET TO A PROPOSED SANITARY SEWER MANHOLE. FROM THE PROPOSED MANHOLE A 10" LINE THEN RUNS WEST ALONG NORTH RIGHT-OF-WAY OF PREMIO STREET TO A PROPOSED MANHOLE WHERE A 10" SANITARY LINE TURNS SOUTH ALONG THE WEST RIGHT-OF-WAY OF AMALIA AVENUE TO A PROPOSED MANHOLE WHERE A 10" SANITARY SEWER LINE RUNS EAST ALONG THE SOUTH RIGHT-OF-WAY OF VERITY STREET TO A PROPOSED MANHOLE. A PROPOSED 8" SANITARY SEWER RUNS EAST ALONG THE NORTH RIGHT-OF-WAY OF PREMIO STREET ENDING WITH A CLEANOUT AT THE EAST BOUNDARY OF THIS SUBDIVISION. AN OTHER 8" SEWER LINE CONNECT TO THE PREVIOUSLY MENTIONED SEWER LINE WITH A PROPOSED MANHOLE WHERE A 8" LINE RUNS SOUTH ALONG THE WEST RIGHT-OF-WAY OF HOMENAJE STREET TO A PROPOSED MANHOLE.

THERE WILL BE ONE HUNDRED AND TWO (101) 4" SERVICE CONNECTIONS

THE SANITARY SEWER LINES RANGING FROM 8" TO 12", AND (13) SANITARY SEWER MANHOLES HAVE BEEN INSTALLED AT A TOTAL COST \$308,878.00 OR \$3,058.20 PER LOT. IN ADDITION, THE SUBDIVIDER HAS PAID TO THE N.A.W.S.C. THE SUM OF \$ 1,125.00 WHICH COVERS THE \$11.14 PER LOT AS STATED IN THE 30 YEAR WASTE WATER SERVICE AGREEMENT WHICH SUM REPRESENTS THE TOTAL COST OF THE SERVICES AND ACQUISITION FEES, AND ALL MEMBERSHIP OR OTHER FEES ASSOCIATED WITH CONNECTING THE INDIVIDUAL LOTS IN THE SUBDIVISION TO THE N.A.W.S.C. THE ENTIRE WASTE WATER FACILITIES HAVE BEEN APPROVED AND ACCEPTED BY N.A.W.S.C. AND SAID DISTRIBUTION SYSTEM IS OPERABLE AS OF THE DATE OF THE RECORDING OF THE PLAT.

ENGINEER CERTIFICATION:  
 BY MY SIGNATURE BELOW, I CERTIFY THAT THE WATER AND SEWAGE SERVICE FACILITIES DESCRIBED ABOVE ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.343, WATER CODE. I CERTIFY THAT THE COSTS TO INSTALL THE WATER AND SEWAGE FACILITIES, DISCUSSED ABOVE, ARE AS FOLLOWS:

WATER FACILITIES - THESE FACILITIES FULLY CONSTRUCTED, WITH THE INSTALLATION OF WATER METERS, WILL COST A GRAND TOTAL OF \$220,905.00 WHICH EQUALS TO \$ 3,177.28 PER LOT.

SEWAGE FACILITIES - SEWAGE SYSTEM IS ESTIMATED TO COST \$3,415.54 PER LOT (ALL INCLUSIVE), FOR A TOTAL OF \$344,970.00 FOR THE ENTIRE SUBDIVISION.

ENGINEER'S SIGNATURE: *M. Reyna* DATE: 3-31-21

DRAWN BY: EM DATE: 01-28-2020  
 SURVEYED, CHECKED: DATE:  
 FINAL CHECK: DATE:

**MELDEN & HUNT INC.**  
 CONSULTANTS • ENGINEERS • SURVEYORS

115 W. McINTYRE - EDINBURG, TX 78841  
 PH: (956) 381-0981 - FAX: (956) 381-1839  
 ESTABLISHED 1947 - www.meldenandhunt.com

REPORT DE INGENIERIA DE HACIENDA VICTORIA ESTATES SUBDIVISION  
 POR: MARIO A. REYNA  
 DRENAJE: DESCRIPCION, GASTOS Y FECHA DE INICIO PARA FACILITAR EL DRENAJE PARA LA SUBDIVISION

LA SUBDIVISION HACIENDA VICTORIA ESTATES SUBDIVISION RECIBIRA SU PROVISION DE DRENAJE DE N.A.W.S.C. EL DUEÑO DE LA SUBDIVISION Y N.A.W.S.C. HAN FIRMADO UN CONTRATO POR EL CUAL LA SUBDIVISION RECIBIRA SU PROVISION DE DRENAJE SANITARIO POR LOS PROXIMOS 30 AÑOS. N.A.W.S.C. HA PRESENTADO DOCUMENTACION PARA DEMOSTRAR A LARGO PLAZO LA CANTIDAD Y CALIDAD DE DRENAJE SANITARIO ACCESIBLE PARA SERVIR EL FUTURO DESARROLLO DE LA SUBDIVISION. N.A.W.S.C. TIENE UN DRENAJE SANITARIO EN LA ESQUINA NOROCCIDENTE DE LA CALLE DANDELION Y CALLE ALBERTA.

EL SISTEMA DE PROVISION DE DRENAJE SANITARIO PARA LA SUBDIVISION LAS HACIENDA ESTATES SUBDIVISION CONSISTE DE UNA LINEA DE DRENAJE SANITARIO DE DIAMETRO DE 12" QUE SE ENCUENTRA EN LA LINEA DE SERVICIO SANITARIO EXISTENTE CON UN ALCANFARRILLA PROPUUESTO. ESTA LINEA DE 12" ENTONCES CORRE SUR VA DE DERECHO DE LA CALLE DE THERESA A UN ALCANFARRILLA SANITARIO PROPUUESTO. DESDE EL ALCANFARRILLA PROPUUESTO UNA LINEA DE 10" ENTONCES CORRE AL OESTE EN EL NORTE VIA DE DERECHO DE LA CALLE PREMIO A UN ALCANFARRILLA PROPUUESTO DONDE UNA LINEA SANITARIA DE 10" SIGUE AL SUR EN EL LADO OESTE DEL DERECHO DE VILLA DE AMALIA STREET A UN LA ALCANFARRILLA PROPUUESTO DONDE UNA LINEA SANITARIA DE 10" SIGUE AL ESTE POR EL LADO SUR DEL DERECHO DE VILLA VERITY A UN ALCANFARRILLA PROPUUESTO. UNA LINEA PROPUUESTA DE 8" SANITARIO CORRE AL ESTE POR EL LADO NORTE DEL DERECHO DE VILLA DE PREMIO STREET A UN ALCANFARRILLA PROPUUESTA EN EL LADO ESTE DE ESTA SUBDIVISION. DE UN ALCANFARRILLA EN LA LINEA PREVIAMENTE MENCIONADA UNA LINEA DE 8" CORRE AL SUR POR EL LADO OESTE DEL DERECHO DE VILLA DE HOMENAJE STREET A UN ALCANFARRILLA PROPUUESTO.

HABRA CIEN Y DOS (101) CONEXIONES DE SERVICIO DE 4"

LAS LINEAS DE DRENAJE SANITARIAS QUE VAN DESDE 8" HASTA DE 12", Y (13) ALCANFARRILLAS DE DRENAJE SANITARIOS HAN SIDO INSTALADOS A UN COSTO TOTAL \$308,878.00 O \$3,058.20 POR LOTE. ADICIONALMENTE, EL DUEÑO DE LA SUBDIVISION TAMBIEN LE HA PAGADO A N.A.W.S.C. LA SUMA DE \$1,125.00 QUE COBRE LOS \$11.14 POR LOTE COMO SE ESTABLECE EN EL ACUERDO DE SERVICIO DE AGUA DE RESIDUOS DE 30 AÑOS QUE SUMA REPRESENTA EL COSTO TOTAL DE LOS SERVICIOS Y CARGOS DE ACUERDO, Y TODOS LOS MIEMBROS U OTROS CARGOS ASOCIADOS CON LA CONECTANDO LOS LOTS INDIVIDUALES EN LA SUBDIVISION A N.A.W.S.C. LAS INSTALACIONES DE AGUA DE RESIDUOS COMPLETOS HAN SIDO APROBADAS Y ACEPTADAS POR N.A.W.S.C. Y DICHO SISTEMA DE DISTRIBUCION ES OPERABLE A PARTIR DE LA FECHA EN LA CUAL LA SUBDIVISION SEA REGISTRADO EN EL CONDADO DE HIDALGO.

CERTIFICACION:  
 CON MI FIRMA, CERTIFICO QUE LOS SERVICIOS Y SISTEMAS DE AGUA Y DRENAJE SANITARIO DESCRITOS EN ESTE DOCUMENTO CUMPLEN CON (LAS REGLAS GOVERNANDO A LAS SUBDIVISIONES), ADOPTADAS BAJO LA SECCION 16.343, DEL TEXAS WATER CODE (CODIGO DE AGUA DE TEXAS). CERTIFICO QUE LOS GASTOS PARA INSTALAR LOS SISTEMAS DE AGUA Y DRENAJE SANITARIO, SON LOS SIGUIENTES:

INSTALACIONES DE AGUA - EL SISTEMA/SERVICIO DE AGUA SERA INSTALADO Y COMPLETAMENTE CONSTRUIDO MENOS EL MEDIDOR MECANICO DE AGUA QUE COSTARA UN TOTAL DE U.S.\$ 320,905.00 O U.S.\$ 3,177.28 POR LOTE.

INSTALACIONES DE DRENAJE SANITARIO - EL SISTEMA DE DRENAJE SANITARIO SERA INSTALADO Y COMPLETAMENTE CONSTRUIDO MENOS EL MEDIDOR MECANICO DE AGUA QUE COSTARA UN TOTAL DE U.S.\$ 321,153.00 O U.S.\$ 3,179.75 POR LOTE.

ENGINEER'S SIGNATURE: *M. Reyna* DATE: 3-31-21

DRAWN BY: EM DATE: 01-28-2020  
 SURVEYED, CHECKED: DATE:  
 FINAL CHECK: DATE:

**MELDEN & HUNT INC.**  
 CONSULTANTS • ENGINEERS • SURVEYORS

115 W. McINTYRE - EDINBURG, TX 78841  
 PH: (956) 381-0981 - FAX: (956) 381-1839  
 ESTABLISHED 1947 - www.meldenandhunt.com

SUBDIVIDER CERTIFICATION

1. BY COMPLETING THE IMPROVEMENTS DESCRIBED ON THE PLAT, SUBDIVIDER WILL COMPLY WITH MINIMUM STATE STANDARDS AND THAT (c) WATER QUALITY AND CONNECTIONS INCLUDING WATER METERS AND OR WATER WELLS FOR EACH LOT(S) MEET SUCH STANDARDS AND (b) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET OR WILL MEET SUCH STANDARDS AND WILL BE CONSTRUCTED IN ACCORDANCE WITH STATE AND COUNTY REGULATIONS.

SUBDIVIDER STATEMENT:

1. I, KYNDEL W. BENNETT SUBDIVIDER OF HACIENDA VICTORIA ESTATES SUBDIVISION, HEREBY CERTIFY SEWER PERMITS HAVE BEEN PAID AND COPIES OF RECORDS ARE ON FILE WITH THE HIDALGO COUNTY HEALTH DEPARTMENT THAT ANY ADEQUATE DRINKING WATER SOURCE IS IMMEDIATELY AVAILABLE TO EACH LOT OF THE TYPE, QUALITY & QUANTITY TO ENABLE EACH PERSON PURCHASING A LOT HAVE ADEQUATE WATER TO COMPLY WITH THE REGULATIONS AND THE LAWS OF THE STATE AS REQUIRED BY STATE AND COUNTY REGULATIONS.

KYNDEL W. BENNETT  
 STATE OF TEXAS  
 COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KYNDEL W. BENNETT KNOWN TO ME THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO BE THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE

DAY OF April 2021

*Lidia Flores*  
 NOTARY PUBLIC  
 MY COMMISSION EXPIRES: 06/20/2022

**LYDIA FLORES**  
 Notary Public, State of Texas  
 Comm. Expires 06/20/2022  
 Notary ID# 11139028

INSTALACIONES DE AGUA - EL SISTEMA/SERVICIO DE AGUA SERA INSTALADO Y COMPLETAMENTE CONSTRUIDO MENOS EL MEDIDOR MECANICO DE AGUA QUE COSTARA UN TOTAL DE U.S.\$ 320,905.00 O U.S.\$ 3,177.28 POR LOTE.

INSTALACIONES DE DRENAJE SANITARIO - EL SISTEMA DE DRENAJE SANITARIO SE ESTIMA UN COSTO TOTAL DE U.S.\$344,970.00 O U.S.\$3,415.54 POR LOTE.

MELDEN & HUNT, INC.  
 TEXAS REGISTRATION F-1435

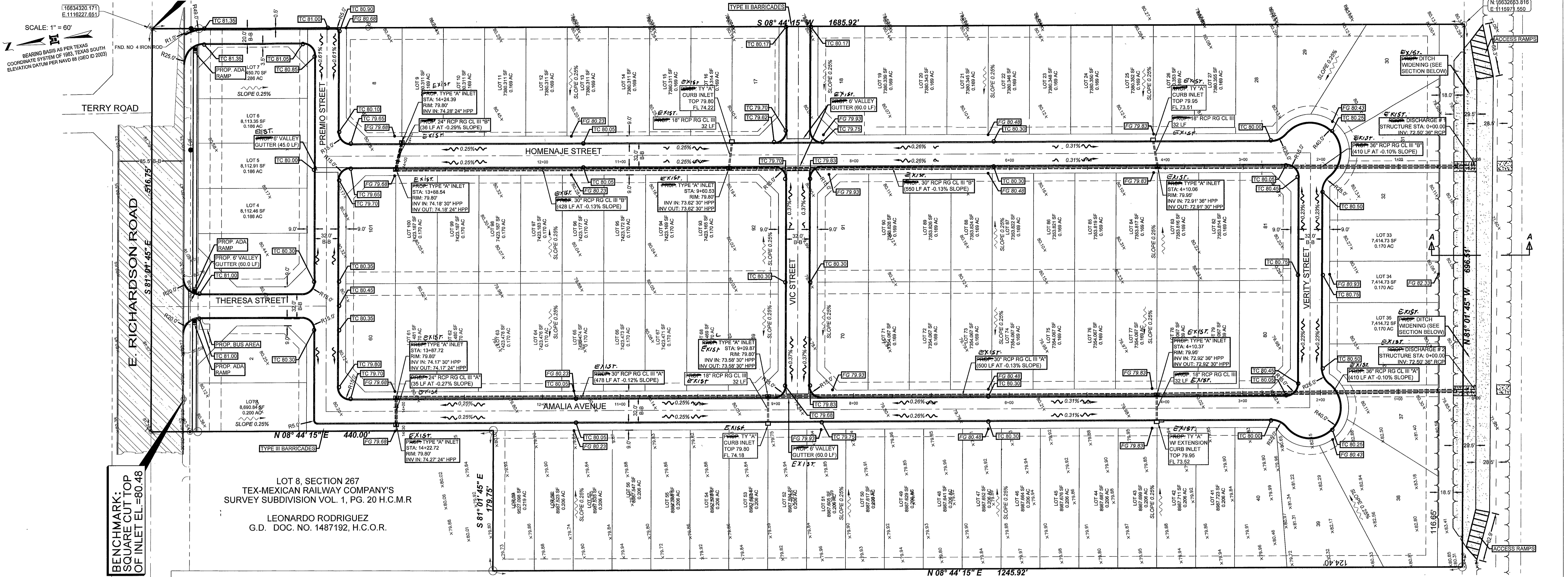
ENGINEER'S SIGNATURE: *M. Reyna* DATE: 3-31-21

DRAWN BY: EM DATE: 01-28-2020  
 SURVEYED, CHECKED: DATE:  
 FINAL CHECK: DATE:

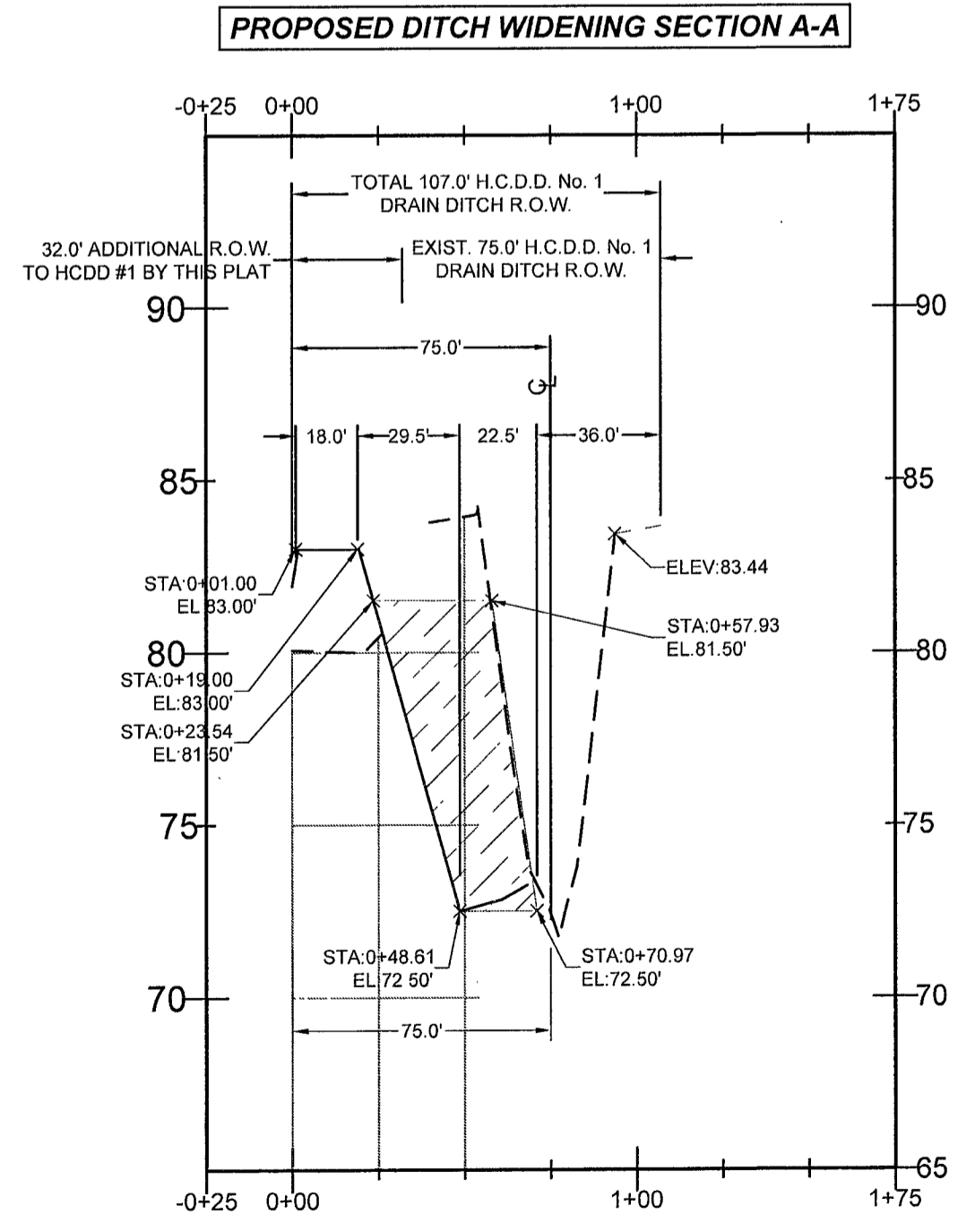
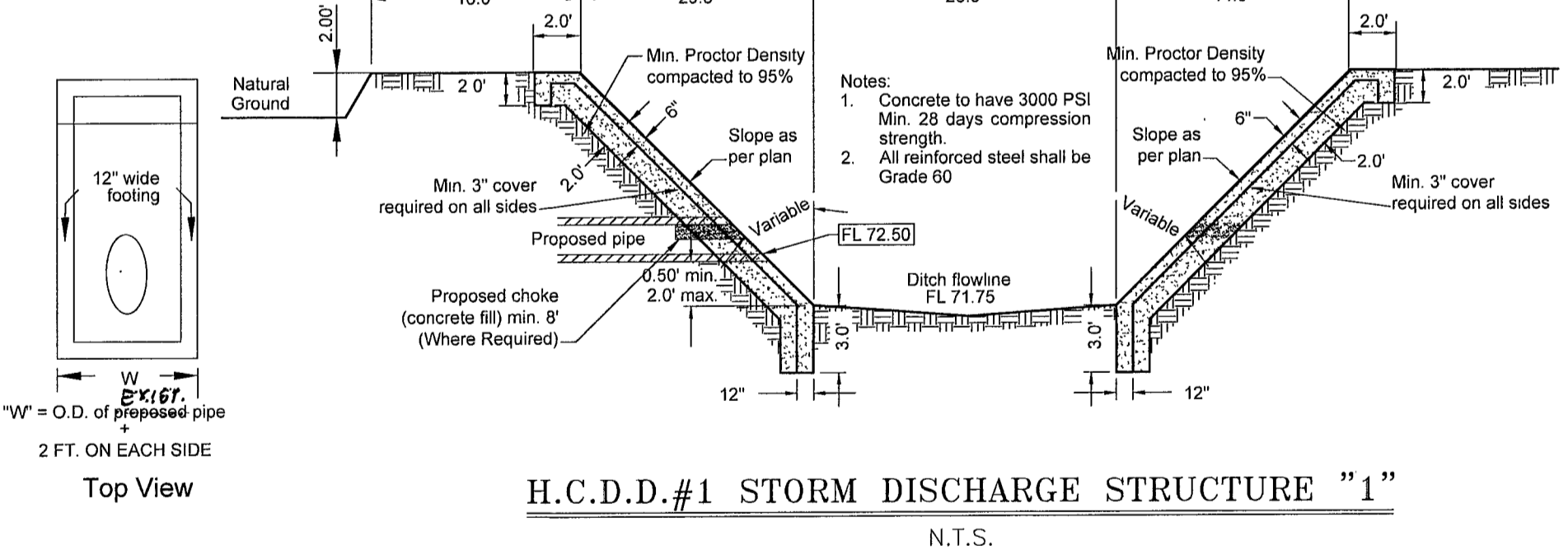
**MELDEN & HUNT INC.**  
 CONSULTANTS • ENGINEERS • SURVEYORS

115 W. McINTYRE - EDINBURG, TX 78841  
 PH: (956) 381-0981 - FAX: (956) 381-1839  
 ESTABLISHED 1947 - www.meldenandhunt.com





MAP OF TOPOGRAPHY AND DRAINAGE:  
 MAPA DE TOPOGRAFIA Y DESAGUE:  
 SUBDIVISION MAP OF  
**HACIENDA VICTORIA ESTATES**  
 SUBDIVISION  
 BEING 25.224 ACRES  
 OUT OF LOT 8, SECTION 267,  
 TEXAS-MEXICAN RAILWAY  
 COMPANY'S SURVEY SUBDIVISION  
 HIDALGO COUNTY, TEXAS



**DRAINAGE STATEMENT**  
**HACIENDA VICTORIA ESTATES SUBDIVISION**

HACIENDA VICTORIA ESTATES SUBDIVISION IS A 25.224 ACRES SITUATED IN HIDALGO COUNTY, TEXAS, BEING A PART OR PORTION OUT OF LOT 8, SECTION 267, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGE 20, HIDALGO COUNTY MAP RECORDS, WHICH SAID 25.224-ACRE TRACT CONSISTS OF: 19.08 ACRES CONVEYED TO DORIS M. SIEGRIST BY VIRTUE OF A LAST WILL AND TESTAMENT RECORDED IN VOLUME 2770, PAGE 970, HIDALGO COUNTY OFFICIAL RECORDS, AND 0.992 OF ONE ACRE CONVEYED TO BARBARA L. SIEGRIST BY VIRTUE OF A GIFT WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 1469490, HIDALGO COUNTY OFFICIAL RECORDS. THE PROPERTY IS LOCATED ALONG THE SOUTH SIDE OF RICHARDSON STREET AND APPROXIMATELY 2,265 FEET EAST OF ALAMO ROAD. THE PROPERTY IS A 83 LOT DEVELOPMENT. THE PROPERTY IS CURRENTLY OPEN AND IS LOCATED IN ZONE "X" (SHADED) IN FEMA'S FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 480334 0325 D, MAP REVISED JUNE 6, 2000. REVISED TO REFLECT LOMR: MAY 17, 2001. ZONE "X" (SHADED) IS DEFINED AS: AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.

THE SOILS ARE (28) HIDALGO FINE SANDY LOAM WHICH IS IN HYDROLOGIC GROUP "B" RESPECTIVELY. SOIL GROUP "B" IS MODERATELY PERVIOUS WITH A RELATIVELY LOW PLASTICITY INDEX. (SEE EXCERPTS FROM "SOIL SURVEY OF HIDALGO COUNTY, TEXAS").

EXISTING RUNOFF IS BY SURFACE FLOW IN A NORTHERLY DIRECTION AND HAS A RUNOFF OF 7.22 C.F.S. DURING THE 10-YEAR STORM FREQUENCY AS PER THE ATTACHED CALCULATIONS. THE PROPOSED DEVELOPMENT WILL INCREASE RUNOFF BY 34.86 C.F.S. TO A TOTAL OF 42.08 C.F.S.

THE PROPOSED DRAINAGE FOR HACIENDA VICTORIA ESTATES SUBDIVISION SHALL CONSIST OF SURFACE RUNOFF FROM THE LOTS INTO THE PROPOSED STREETS, INTO PROPOSED TYPE "A" INLETS, WHICH WILL DRAIN INTO THE "Y" DRAIN WHICH FLOWS EAST, ULTIMATELY DRAINING INTO THE SOUTH MAIN DRAIN I. THE PROPOSED DRAINAGE SYSTEM SHALL BE COMPOSED OF 10-TYPE "A" INLET ALONG THE PROPOSED STREET WITH 18", 24", 30" DRAINAGE PIPE.

IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE POLICY, THE PEAK RATE OF RUNOFF FROM THIS SUBDIVISION WILL NOT BE INCREASED DURING THE 50-YEAR RAINFALL EVENT DUE TO THE IMPROVEMENTS IN THIS SUBDIVISION. THEREFORE, AS PER ATTACHED CALCULATIONS, 137,855 CUBIC FEET OF DETENTION WILL BE PROVIDED WITHIN THE WIDENING OF THE "Y" DRAIN.

CERTIFICATION:  
 BY MY SIGNATURE BELOW, I CERTIFY THAT THE 100 YEAR FLOODPLAIN AS DESCRIBED IN COMMUNITY PANEL NO. 480334 0325 B, MAP REVISED NOVEMBER 16, 1982 IS CONTAINED WITHIN THE DITCH WIDENING TO THE NORTH OF THIS SUBDIVISION.

MARIO A. REYNA PE # 117368  
 DATE: 3-31-21

MELDEN & HUNT, INC.  
 TEXAS REGISTRATION F-1435  
 MARIO A. REYNA  
 117368  
 LICENSED PROFESSIONAL ENGINEER

**LEGEND**

- FOUND No. 4 REBAR
- FOUND PIPE
- ⊙ SET SQUARE CUT
- ⊙ SET No. 4 REBAR WITH PLASTIC
- CAP STAMPED MELDEN & HUNT

H.C.M.R. - HIDALGO COUNTY MAP RECORDS  
 H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS  
 N.E. COR. - NORTHEAST CORNER  
 G.D. - GIFT DEED  
 G.W.D. - GIFT WARRANTY DEED  
 L.W.A.T. - LAST WILL AND TESTAMENT  
 S.W.D.W.V.L. - SPECIAL WARRANTY DEED WITH VENDOR'S LIEN

DRAWN BY: EM DATE: 01-28-2020  
 SURVEYED, CHECKED: DATE  
 FINAL CHECK: DATE

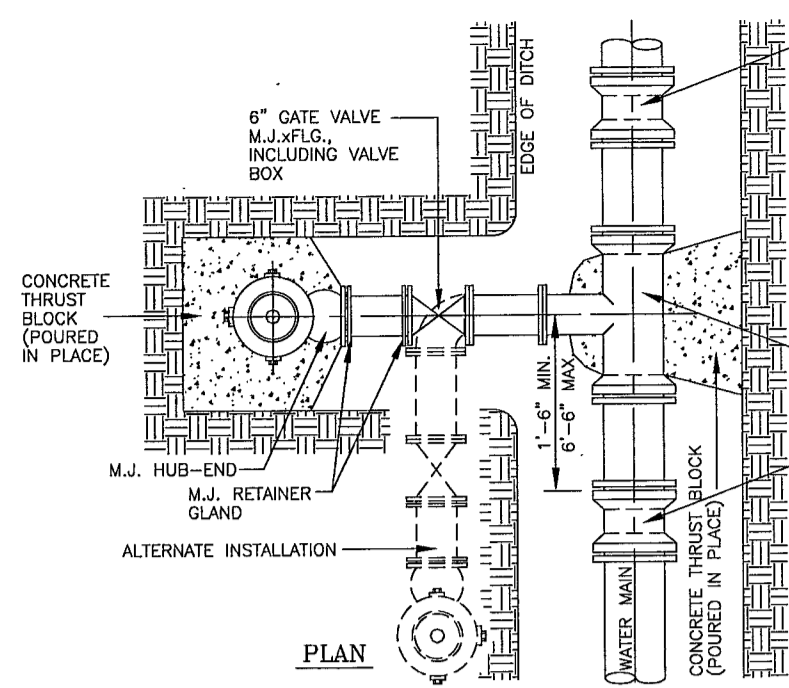
**MELDEN & HUNT, INC.**  
 CONSULTANTS • ENGINEERS • SURVEYORS

115 W. McINTYRE - EDINBURG, TX 78641  
 PH: (956) 381-0981 - FAX: (956) 381-1839  
 ESTABLISHED 1947 - www.meldenandhunt.com

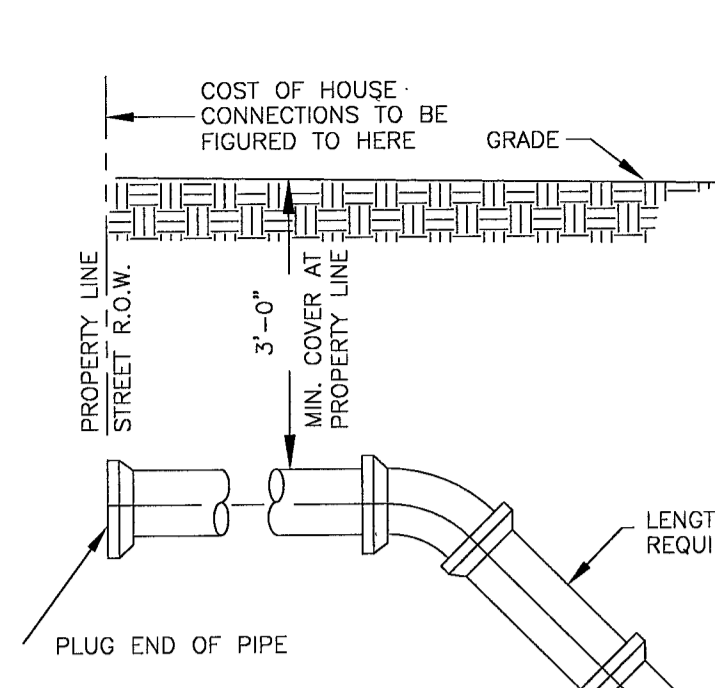
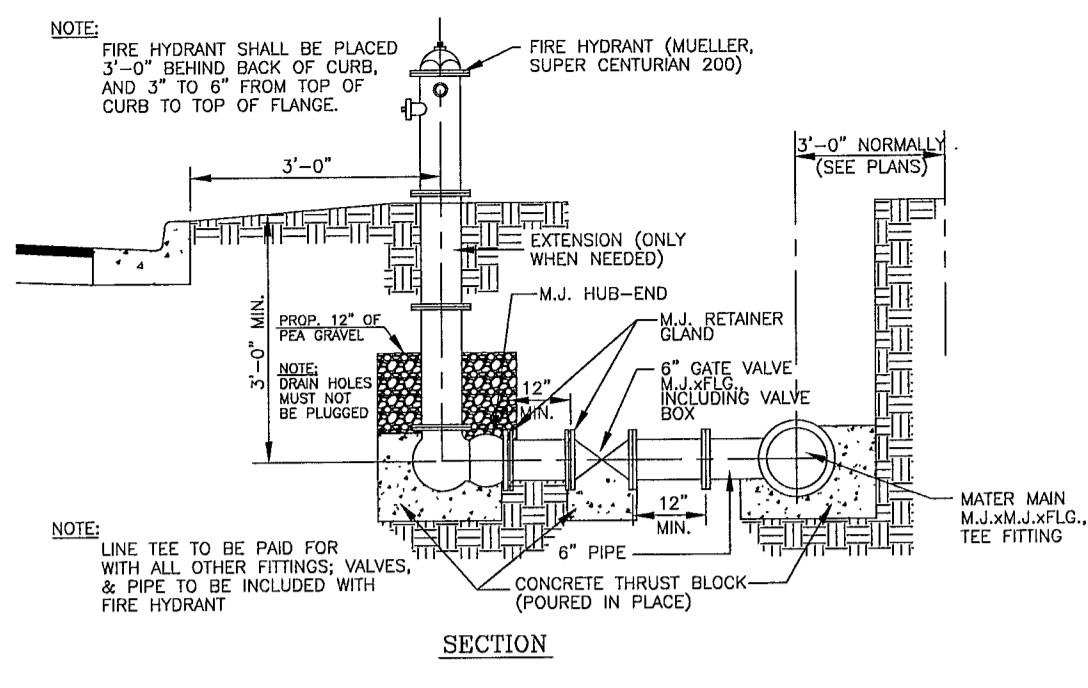
H.C.D.D.#1 STORM DISCHARGE STRUCTURE "2"

N.T.S.





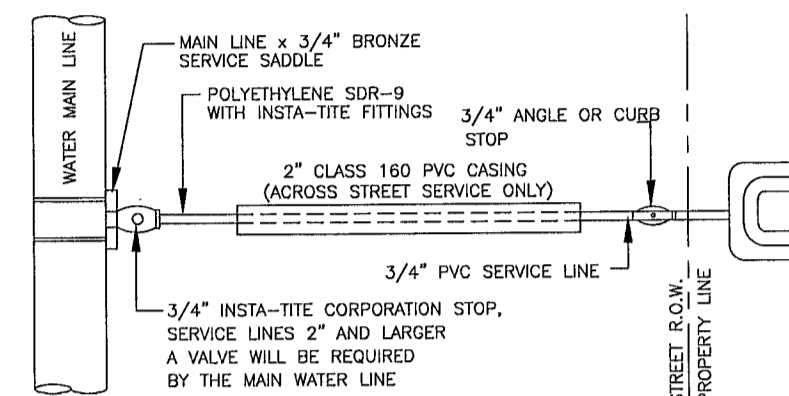
**TYPICAL FIRE HYDRANT INSTALLATION**  
N.T.S.



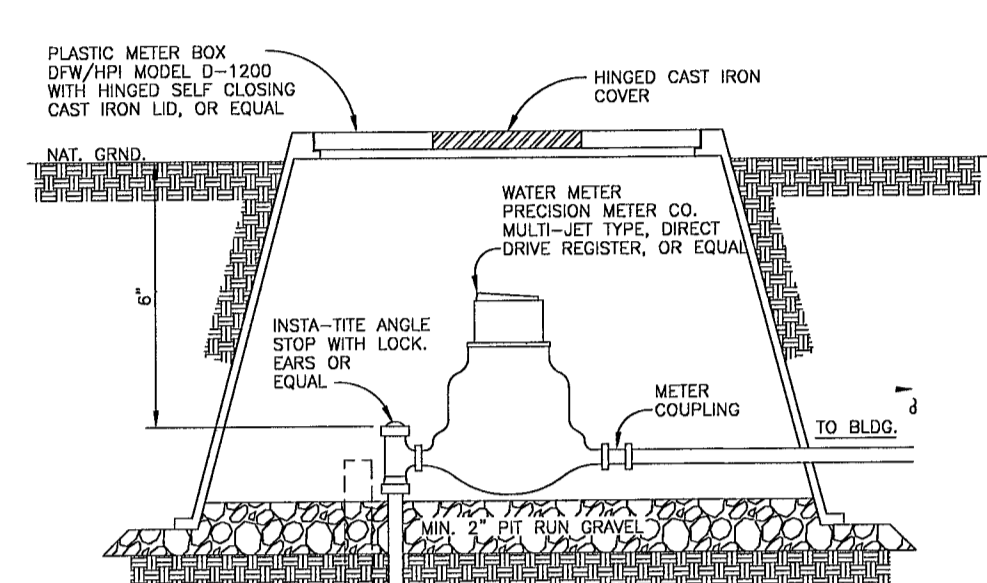
NOTES:

1. SINGLE SERVICE CONNECTIONS WILL HAVE ONLY ONE "Y" BRANCH, ALL ELSE REMAINS THE SAME.
2. ADAPTORS SHALL BE USED TO CONNECT P.V.C. SEWER LINES TO MANHOLES.
3. WHERE A SEWER SERVICE LINE IS CROSSING A WATER LINE, ALL APPLICABLE RULES AND REGULATIONS BY THE TNRCC AND SBC SHALL BE MET IN REGARDS TO PIPE SEPARATION AND THE CENTERING OF A SEWER PIPE JOINT OVER/UNDER THE WATERLINE.

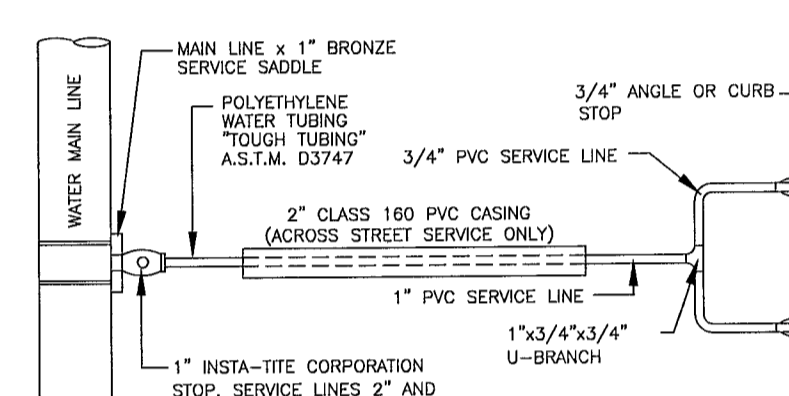
**SEWER SERVICE CONNECTION**  
N.T.S.



**SINGLE WATER SERVICE CONNECTION**  
N.T.S.

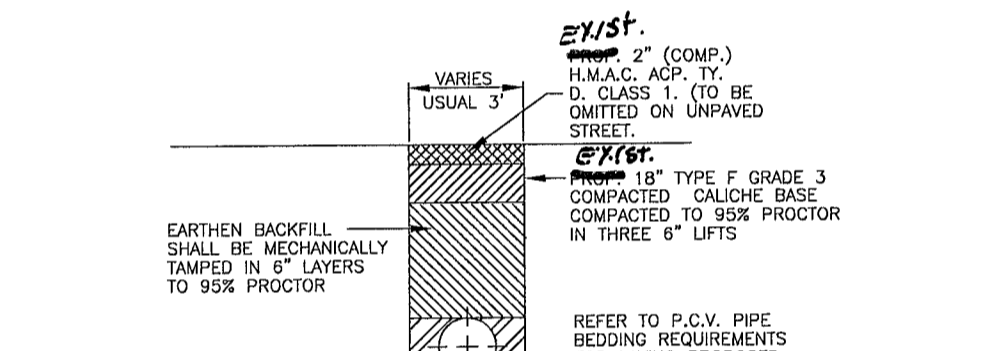


**TYPICAL WATER METER INSTALLATION**  
N.T.S.

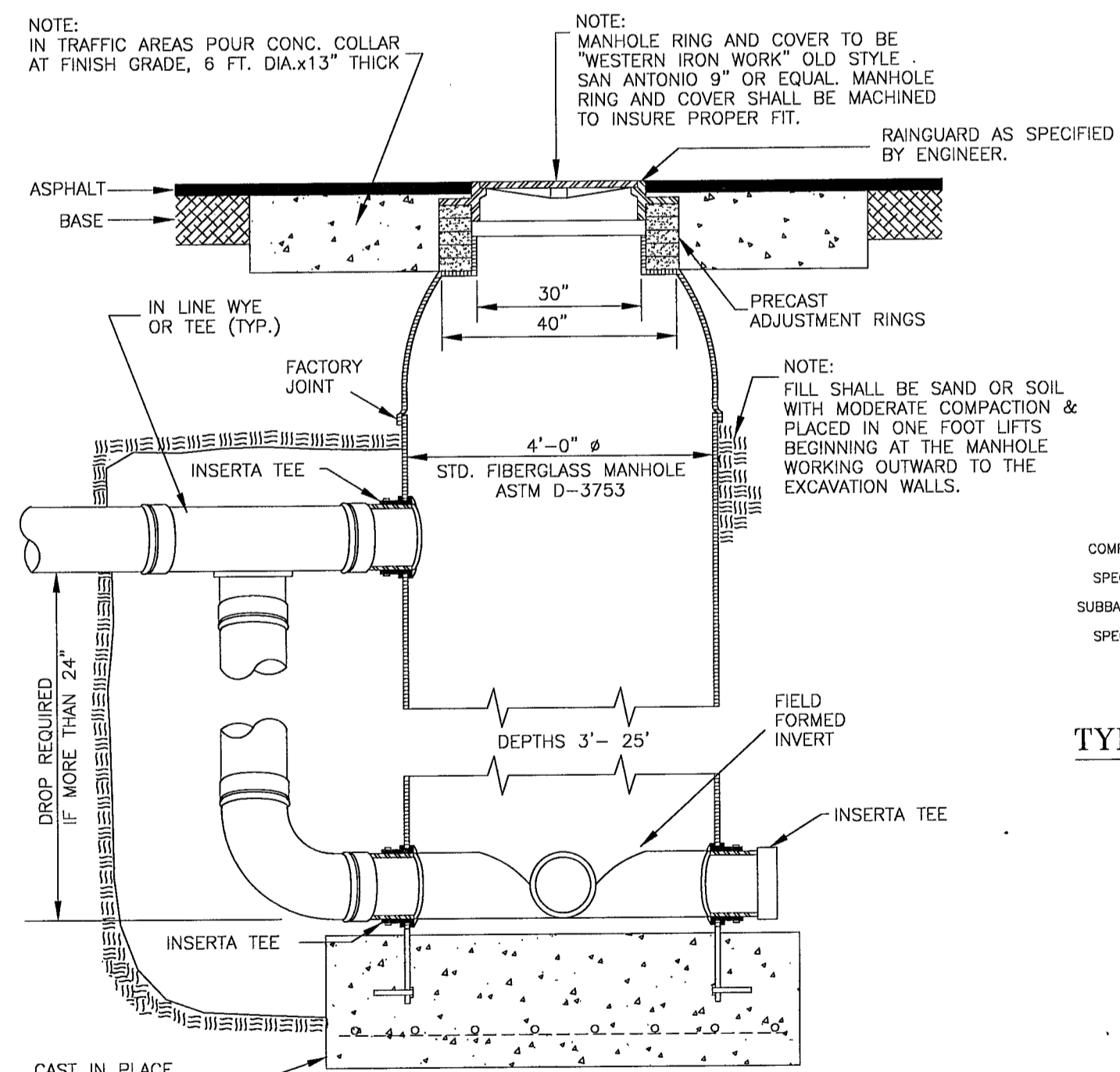


**DUAL WATER SERVICE CONNECTION**  
N.T.S.

NOTE: IF UTILITY EASEMENT IS DEDICATED AT THE FRONT OF THE LOT, THE LOCATION OF THE ANGLE STOP IS TO BE DETERMINED BY N.A.W.S.C. AND THE ENGINEER.



**PAVED and UNPAVED STREET BACKFILL DETAIL**  
N.T.S.

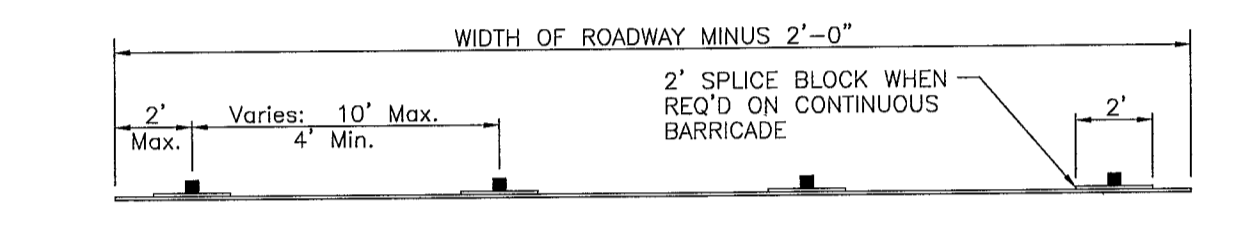


**TYPICAL FIBERGLASS MANHOLE**  
N.T.S.

**TYPICAL LOW PROFILE CURB & GUTTER SECTION**  
N.T.S.

1. ALL HONEYCOMBING SHALL BE GROUTED TO PROVIDE A UNIFORM SURFACE.
2. WHEN HONEYCOMBING IS EXCESSIVE AS DETERMINED BY THE COUNTY OF HIDALGO DESIGNATED REPRESENTATIVE, CURB AND GUTTER SHALL BE PLACED.
3. BACKFILL BEHIND CURBS SHALL BE ACCOMPLISHED WITHIN 24 HOURS AFTER BACK FORM IS REMOVED OR 48 HOURS AFTER SLIP FORMING.
4. CURB AND GUTTER CONCRETE SHALL BE CLASS "A" (3000 P.S.I.).
5. REINFORCING STEEL AS SHOWN.
6. MAX. LENGTH OF CURB AND GUTTER SECTION IS 80' BETWEEN 3/4" EXPANSION JOINT.

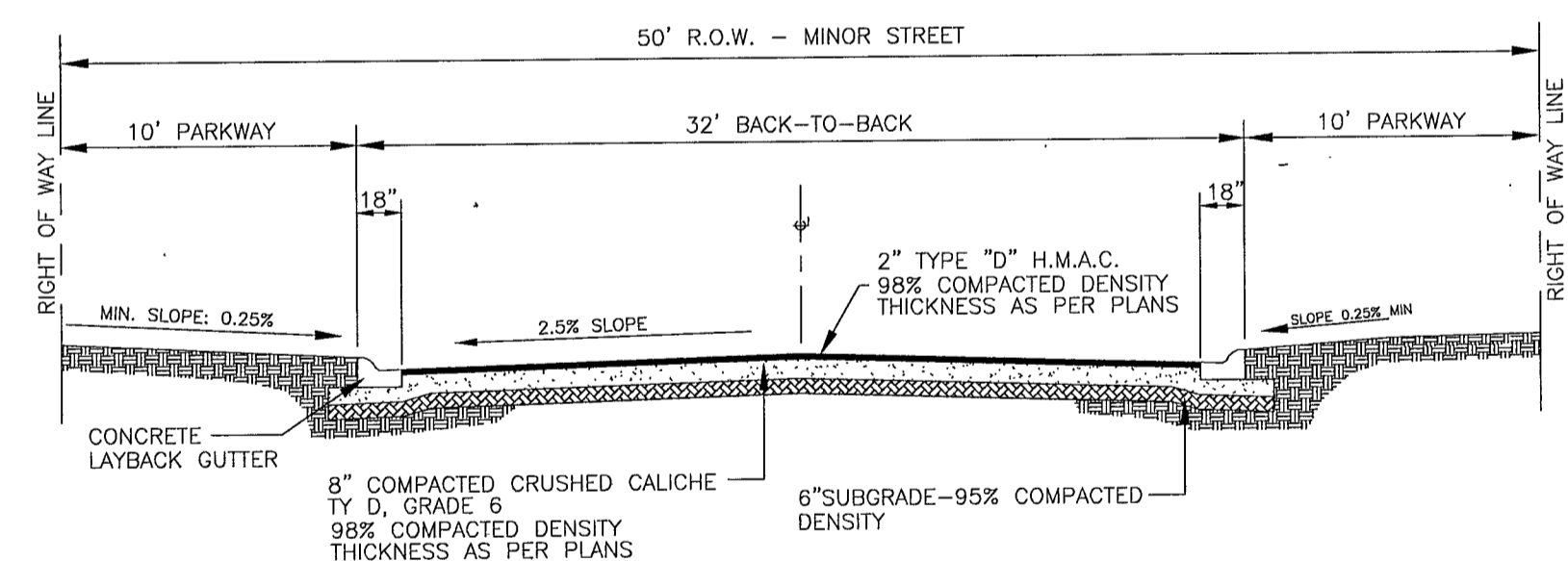
DRAWN BY: EM DATE 01-28-2020  
SURVEYED, CHECKED DATE  
FINAL CHECK DATE



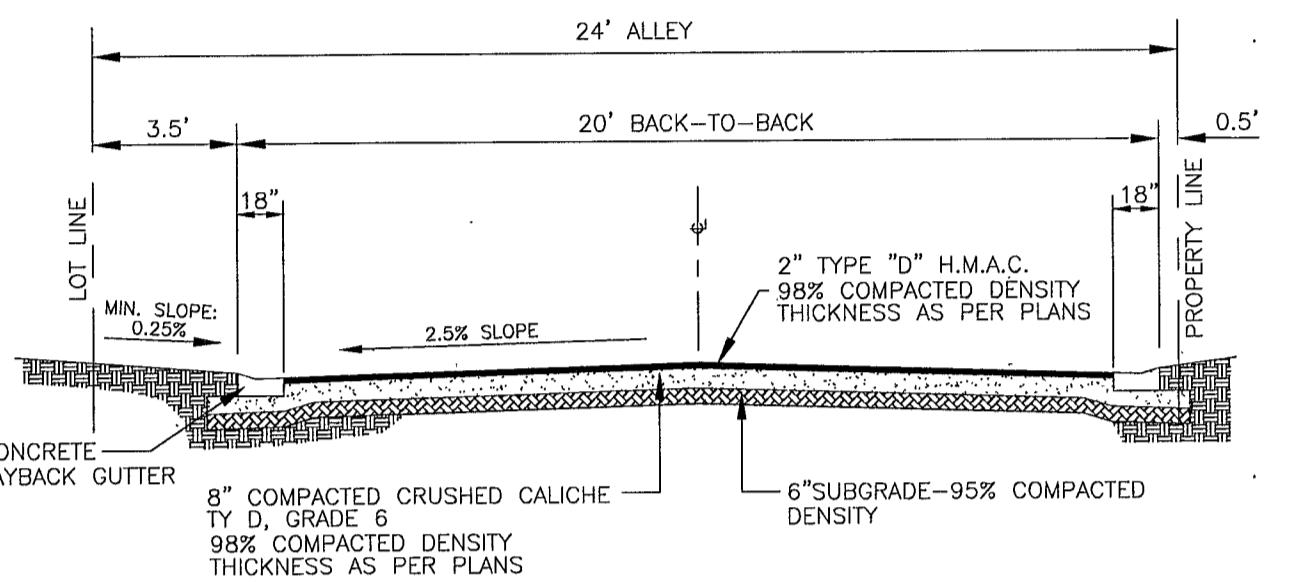
**TYPE III DEAD-END STREET BARRICADE**  
N.T.S.

GENERAL NOTES:

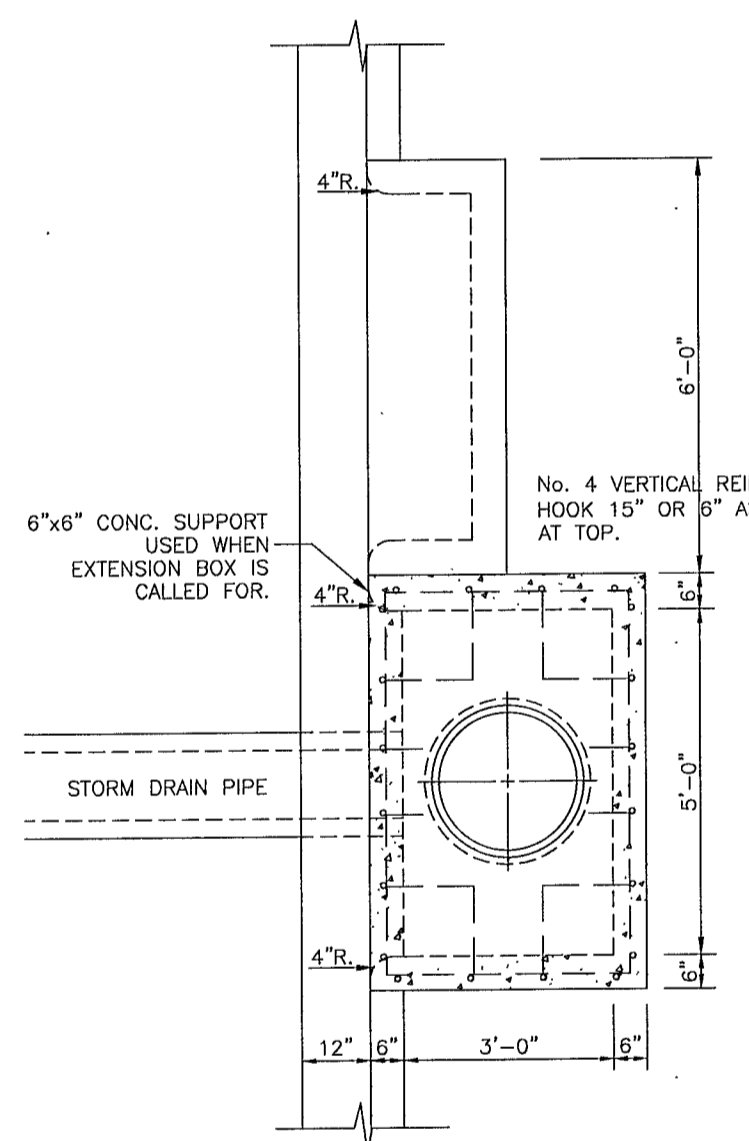
1. WIDTH OF RAIL SHALL BE A MINIMUM OF 8", 2" NOMINAL SMOOTH LUMBER.
2. RAILS SHALL BE FASTENED TO EACH POST WITH 1/4" STEEL BOLTS WITH WASHER ON EACH SIDE. BOLT THREADS SHALL BE PEENED.
3. THE RAILS SHALL RECEIVE TWO COATS OF WHITE OIL BASE OUTDOOR PAINT, THEN SHALL HAVE 6" WIDE REFLECTORIZED RED STRIPES OF TAPE PLACED ON 45° SLOPES, DOWN AND TOWARDS THE CENTER OF THE BARRICADE.
4. BARRICADES MAY BE CONSTRUCTED IN SECTIONS OR MAY BE CONTINUOUS ACROSS ROADWAY WIDTH. SPLICES ON CONTINUOUS RAIL BARRICADES SHALL BE AT POSTS AND SHALL HAVE A 2" SPLICE BLOCK ON BACK SIDE OF THE SAME MATERIAL AS RAIL.
5. 18" DIAMOND REFLECTORIZED RED PANEL OR 18" DIAMOND RED OR BLACK PANEL WITH 9-3" DIA. RED REFLECTORS SYMMETRICALLY PLACED AT CENTER OR CENTER POST.



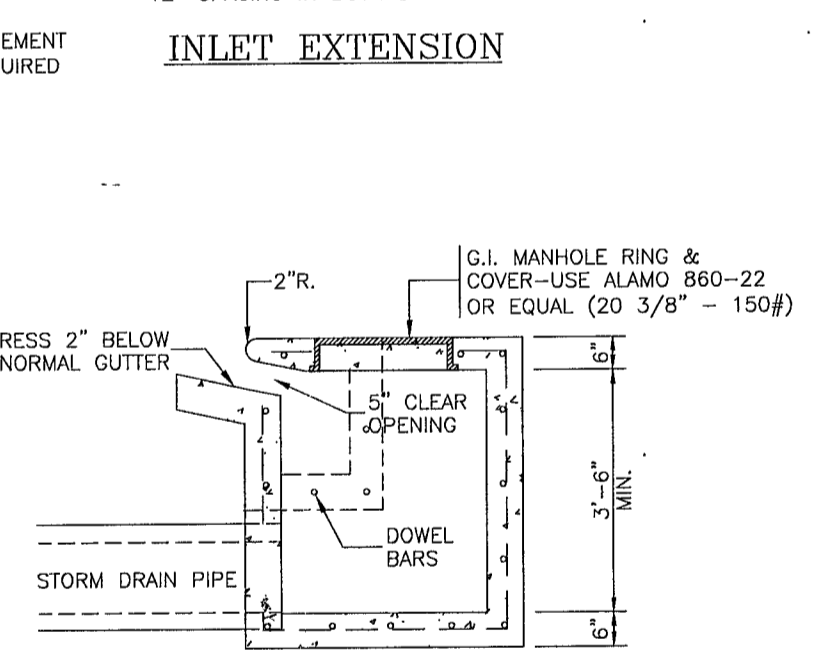
**TYPICAL STREET CROSS SECTION**  
N.T.S.



**TYPICAL ALLEY CROSS SECTION**  
N.T.S.

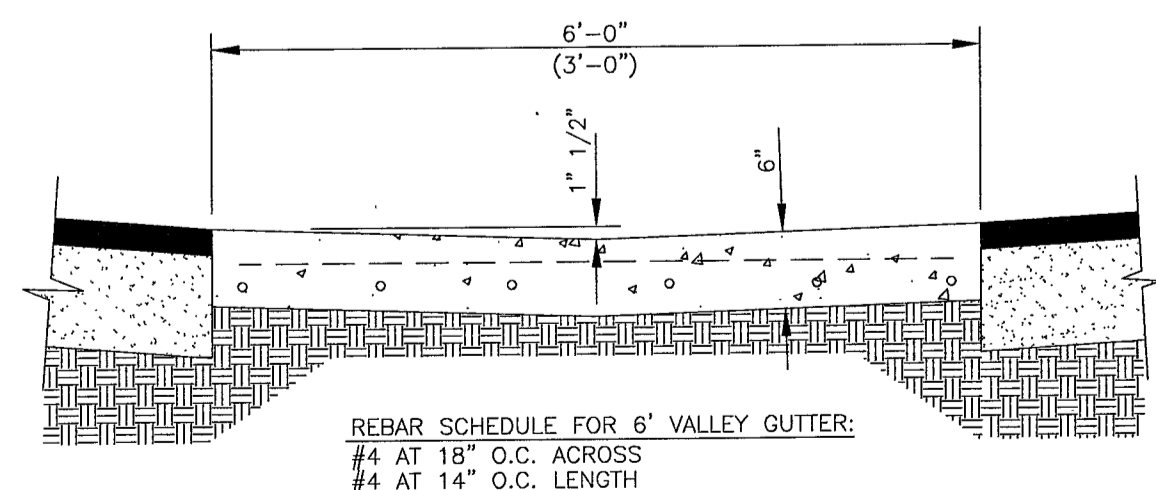


**TYPE "A" INLET**  
N.T.S.



**INLET EXTENSION**

SLOPE BOTTOM OF INLET EXTENSION 1/2" / 1'-0" TOWARD INLET EXTENSION TO INLET TO BE MADE IN INCREMENTS OF 3'-0" OR 6'-0" ONLY. TRANSITION NORMAL GUTTER TO INLET SLOPE APPROXIMATELY 3'-0".



**SECTION "CC" - CONCRETE VALLEY GUTTER**  
N.T.S.

**STORM TRENCH BEDDING AND BACKFILL DETAILS**  
N.T.S.