

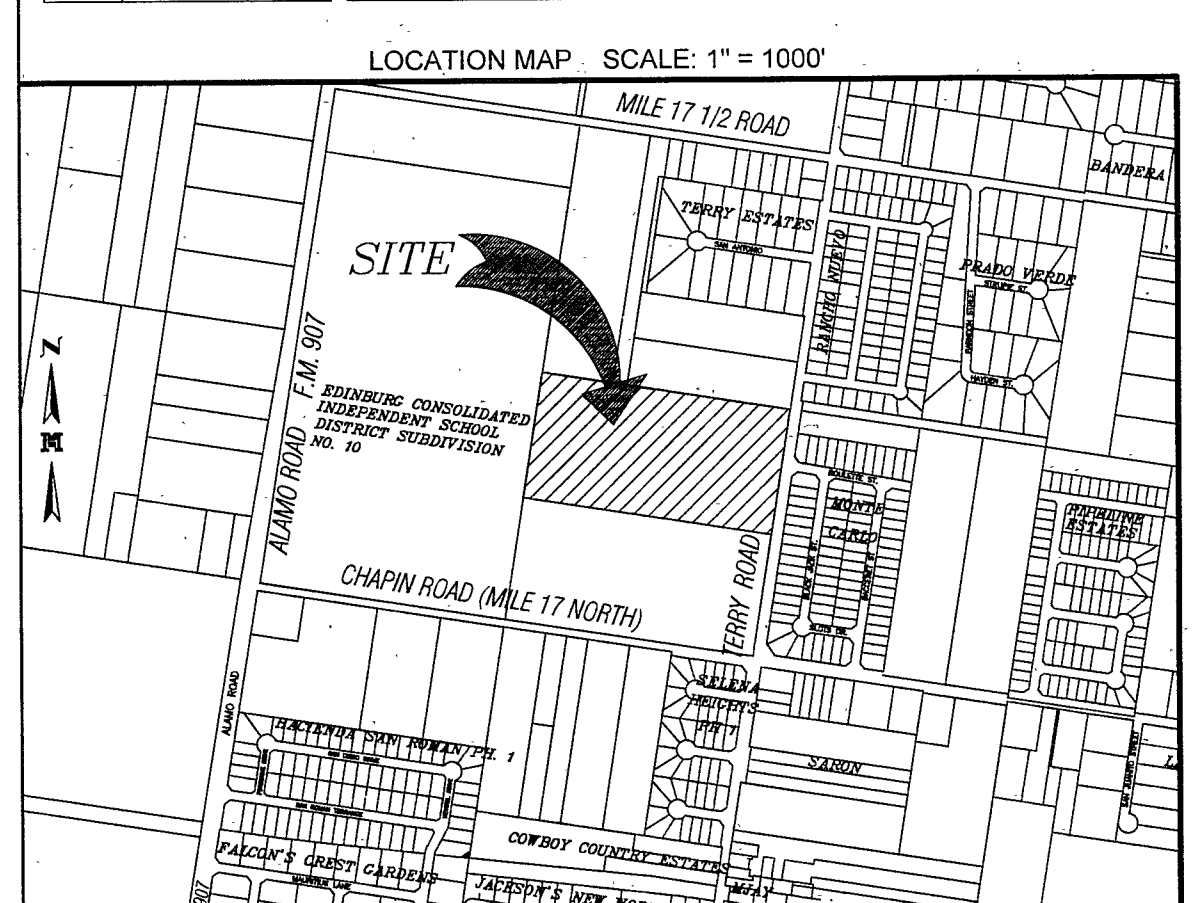
**SUBDIVISION MAP OF ENSENADA ESTATES SUBDIVISION BEING 18.250 ACRES OUT OF LOT 6, SECTION 249 TEXAS-MEXICAN RAILWAY COMPANY SURVEY VOLUME 1, PAGE 21; H.C.M.R. HIDALGO COUNTY, TEXAS**

**ANGEL HUGO SANCHEZ AND WIFE, LILIANA SANCHEZ W.D.W.V.L. DOCUMENT No. 820768, H.C.O.R.**

**RICARDO RESENDEZ G.W.D.C. DOCUMENT No. 2956005, H.C.O.R.**

- GENERAL PLAT NOTES & RESTRICTIONS:**
- FLOOD ZONE STATEMENT: ZONE "X" (SHADED) COMMUNITY-PANEL No. 480334 0325 D EFFECTIVE DATE: JUNE 6, 2000. REVISED TO REFLECT LOWRY MAY 17, 2001 AREAS OF 600-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OF WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD. OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS FOR HIDALGO COUNTY, TEXAS AND THE LOCAL FLOOD PLAIN ADMINISTRATOR HAVE IDENTIFIED NO OTHER AREAS AS SHOWN ON THIS PLAT ARE WITHIN THE PROPOSED SUBDIVISION TO BE WITHIN THE 100-YEAR FLOOD PLAIN. CONSTRUCTION OF RESIDENTIAL HOUSING WITHIN ANY AREA OF THE SUBDIVISION THAT IS IN THE 100-YEAR FLOOD PLAIN IS PROHIBITED UNLESS THE HOUSING QUARTERS FOR INSURANCE UNDER THE NATIONAL FLOOD INSURANCE ACT OF 1968 (42 U.S.C. SECTIONS 4001 THROUGH 4127).
  - SETBACKS: FRONT: 25.00 FEET; CUL-DE-SAC 15.00 FEET. REAR: 15.00 FEET OR EASEMENT WHICHEVER IS GREATER. SIDE: 6.00 FEET OR EASEMENT WHICHEVER IS GREATER. SIDE CORNER 10.00 FEET OR EASEMENT WHICHEVER IS GREATER.
  - NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS. APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPANCY OF THE LOT.
  - MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB OF STREET OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME OF APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISHED FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.
  - THE FOLLOWING BENCHMARKS: BENCH MARK #1: DISK SET IN CONCRETE AT THE SOUTH CLIP OF LOT 7. N:16637913.50, E:116608.98, ELEV. 77.65. BENCH MARK #2: DISK SET IN CONCRETE AT THE SOUTHEAST CORNER OF LOT 57. N:16637835.40, E:115494.12, ELEV. 77.50.
  - IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 77,115 CUBIC FEET (1.770 ACRE-FEET) OF STORM WATER RUNOFF. DRAINAGE RETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS: THE DEVELOPER SHALL BE RESPONSIBLE TO DETAIN AND ACCOMMODATE MORE THAN THE DETAINED VOLUME SHOWN ABOVE IF IT'S DETERMINED AT THE DEVELOPMENT PERMIT STATE ABOVE DUE TO THE IMPROVED AREA BEING GREATER THAN PLAT ENGINEER CONSIDERED FOR HIS CALCULATIONS OF THIS SUBDIVISION.
  - ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISH GRADE FROM THE REAR OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 1.0% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY APPENDIX 5: COUNTY CONSTRUCTION.
  - NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
  - EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
  - ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPANCY AN EASEMENT.
  - THERE ARE NO VISIBLE WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION.
  - CLEARANCES FOR WATER METERS: (ONLY FOR LOTS BEING AS PER LOCAL GOVERNMENT CODE REQUIREMENTS, SANITARY SEWER MUST BE CONNECTED TO A RESIDENCE PRIOR TO THE COUNTY PROCESSING A FINAL CLEARANCE FOR A WATER METER, A SEWER TAP INSPECTION SHALL BE PROVIDED FROM THE ENTITY SERVICE PROVIDER PRIOR TO RECEIVING A CLEARANCE FOR WATER METER(S)).
  - LOT 1, 7-11 SHALL NOT HAVE ACCESS FROM TERRY ROAD.
  - DEVELOPER SHALL INSTALL BUFFER FENCE ALONG LOTS 1, 7-11 TO RESTRICT ACCESS FROM TERRY ROAD.
  - EACH LOT SHALL HAVE IT'S OWN WATER METER.
  - SIDEWALK WILL BE REQUIRED ALONG TERRY ROAD AND WITHIN THE SUBDIVISION AS PER LATEST CITY OF EDINBURG ENGINEERING STANDARDS MANUAL OR AS DIRECTED BY CITY ENGINEER.
  - ALL INTERIOR LOTS SHALL HAVE 5-FT SIDEWALKS.
  - ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWP3) REQUIREMENTS.
  - ALL BEARING AND DISTANCES ARE BASED ON GRID COORDINATES.

Lot Area	Lot Area	Lot Area	Lot Area		
Lot #	SQ. FT.	Area	Lot #	SQ. FT.	Area
1	15,697.88	0.360	55	5,899.68	0.135
2	7,649.95	0.176	20	7,183.85	0.165
3	7,096.66	0.163	37	6,531.25	0.150
4	6,543.37	0.150	22	7,271.90	0.167
5	5,990.08	0.138	23	5,525.48	0.127
6	25,362.92	0.582	24	6,314.40	0.145
7	10,797.79	0.248	25	6,314.40	0.145
8	9,987.36	0.229	26	5,525.48	0.127
9	10,579.06	0.243	27	6,531.25	0.150
10	8,659.04	0.199	28	6,531.25	0.150
11	8,064.41	0.186	29	6,531.25	0.150
12	6,314.40	0.145	30	6,531.25	0.150
13	5,525.48	0.127	31	6,531.25	0.150
14	7,271.90	0.167	32	7,387.28	0.170
15	7,183.85	0.165	33	7,177.74	0.177
16	7,183.85	0.165	34	6,531.25	0.150
17	8,659.71	0.226	35	6,531.25	0.150
18	6,716.91	0.154	36	6,531.25	0.150
			54	6,531.25	0.150
			72	18,163.90	0.417



**MELDEN & HUNT INC. TEXAS REGIST. F-1435**

**MELDEN & HUNT INC. CONSULTANTS • ENGINEERS • SURVEYORS**

115 W. McINTYRE - EDINBURG, TX 78541  
PH: (956) 381-0981 - FAX: (956) 381-1839  
ESTABLISHED 1947 - www.meldenandhunt.com

**Lot Curve Table**

Curve #	Delta	Radius	Length	Chord Direction	Chord Length	Tangent
C1	3° 32' 30"	225.00	13.91	S70° 50' 58"E	13.91	6.96
C2	5° 05' 09"	276.00	24.41	S71° 37' 16"E	24.40	12.21
C3	71° 32' 13"	50.00	62.43	N15° 20' 11"W	58.45	36.02
C4	78° 27' 47"	50.00	68.47	N59° 39' 49"E	63.25	40.82
C5	78° 27' 47"	50.00	68.47	S41° 52' 24"E	63.25	40.82
C6	64° 40' 01"	50.00	56.43	S29° 41' 30"W	53.48	31.65
C7	6° 52' 12"	50.00	6.00	S65° 27' 37"W	5.99	3.00
C8	6° 52' 12"	50.00	6.00	N47° 40' 12"W	5.99	3.00
C9	64° 40' 01"	50.00	56.43	N11° 54' 05"W	53.48	31.65
C10	78° 27' 47"	50.00	68.47	N59° 39' 49"E	63.25	40.82
C11	78° 27' 47"	50.00	68.47	S41° 52' 24"E	63.25	40.82
C12	64° 40' 01"	50.00	56.43	S29° 41' 30"W	53.48	31.65
C13	6° 52' 12"	50.00	6.00	S65° 27' 37"W	5.99	3.00
C14	6° 52' 12"	50.00	6.00	N47° 40' 12"W	5.99	3.00
C15	64° 40' 01"	50.00	56.43	N11° 54' 05"W	53.48	31.65
C16	78° 27' 47"	50.00	68.47	N59° 39' 49"E	63.25	40.82
C17	81° 20' 27"	50.00	70.98	S40° 26' 04"E	65.17	42.96
C18	68° 39' 33"	50.00	59.92	S34° 33' 56"W	56.40	34.15
C19	68° 39' 33"	50.00	59.92	N16° 46' 31"W	56.40	34.15
C20	81° 20' 27"	50.00	70.98	N58° 13' 29"E	65.17	42.96
C21	78° 27' 47"	50.00	68.47	S41° 52' 24"E	63.25	40.82
C22	64° 40' 01"	50.00	56.43	S29° 41' 30"W	53.48	31.65
C23	6° 52' 12"	50.00	6.00	S65° 27' 37"W	5.99	3.00
C24	12° 01' 36"	200.00	41.98	N75° 05' 29"W	41.90	21.07
C25	12° 01' 36"	250.00	52.48	S75° 05' 29"E	52.38	26.34

**Line Table**

Line #	Direction	Length
L1	N 56° 32' 42"E	33.68'
L2	N 33° 56' 13"W	36.67'
L3	S 59° 54' 31"W	18.87'
L4	N 08° 53' 43"E	12.60'
L5	N 08° 53' 43"E	10.00'
L6	N 30° 05' 29"W	23.32'
L7	S 59° 54' 31"W	18.87'
L8	N 08° 53' 43"E	10.00'
L9	N 30° 05' 29"W	23.32'
L10	S 81° 06' 17"E	34.41'

**MELDEN & HUNT INC. TEXAS REGIST. F-1435**

**MELDEN & HUNT INC. CONSULTANTS • ENGINEERS • SURVEYORS**

115 W. McINTYRE - EDINBURG, TX 78541  
PH: (956) 381-0981 - FAX: (956) 381-1839  
ESTABLISHED 1947 - www.meldenandhunt.com

**GENERAL PLAT NOTES & RESTRICTIONS:**

**HIDALGO COUNTY GENERAL SUBDIVISION PLAT NOTES**

1. FLOOD ZONE STATEMENT: ZONE "X" (SHADED) COMMUNITY-PANEL No. 480334 0325 D EFFECTIVE DATE: JUNE 6, 2000. REVISED TO REFLECT LOWRY MAY 17, 2001 AREAS OF 600-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OF WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD. OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS FOR HIDALGO COUNTY, TEXAS AND THE LOCAL FLOOD PLAIN ADMINISTRATOR HAVE IDENTIFIED NO OTHER AREAS AS SHOWN ON THIS PLAT ARE WITHIN THE PROPOSED SUBDIVISION TO BE WITHIN THE 100-YEAR FLOOD PLAIN. CONSTRUCTION OF RESIDENTIAL HOUSING WITHIN ANY AREA OF THE SUBDIVISION THAT IS IN THE 100-YEAR FLOOD PLAIN IS PROHIBITED UNLESS THE HOUSING QUARTERS FOR INSURANCE UNDER THE NATIONAL FLOOD INSURANCE ACT OF 1968 (42 U.S.C. SECTIONS 4001 THROUGH 4127).

2. SETBACKS: FRONT: 25.00 FEET; CUL-DE-SAC 15.00 FEET. REAR: 15.00 FEET OR EASEMENT WHICHEVER IS GREATER. SIDE: 6.00 FEET OR EASEMENT WHICHEVER IS GREATER. SIDE CORNER 10.00 FEET OR EASEMENT WHICHEVER IS GREATER.

3. NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS. APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPANCY OF THE LOT.

4. MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB OF STREET OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME OF APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISHED FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.

5. THE FOLLOWING BENCHMARKS: BENCH MARK #1: DISK SET IN CONCRETE AT THE SOUTH CLIP OF LOT 7. N:16637913.50, E:116608.98, ELEV. 77.65. BENCH MARK #2: DISK SET IN CONCRETE AT THE SOUTHEAST CORNER OF LOT 57. N:16637835.40, E:115494.12, ELEV. 77.50.

6. IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 77,115 CUBIC FEET (1.770 ACRE-FEET) OF STORM WATER RUNOFF. DRAINAGE RETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS: THE DEVELOPER SHALL BE RESPONSIBLE TO DETAIN AND ACCOMMODATE MORE THAN THE DETAINED VOLUME SHOWN ABOVE IF IT'S DETERMINED AT THE DEVELOPMENT PERMIT STATE ABOVE DUE TO THE IMPROVED AREA BEING GREATER THAN PLAT ENGINEER CONSIDERED FOR HIS CALCULATIONS OF THIS SUBDIVISION.

7. ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISH GRADE FROM THE REAR OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 1.0% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY APPENDIX 5: COUNTY CONSTRUCTION.

8. NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.

9. EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.

10. ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPANCY AN EASEMENT.

11. THERE ARE NO VISIBLE WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION.

12. CLEARANCES FOR WATER METERS: (ONLY FOR LOTS BEING AS PER LOCAL GOVERNMENT CODE REQUIREMENTS, SANITARY SEWER MUST BE CONNECTED TO A RESIDENCE PRIOR TO THE COUNTY PROCESSING A FINAL CLEARANCE FOR A WATER METER, A SEWER TAP INSPECTION SHALL BE PROVIDED FROM THE ENTITY SERVICE PROVIDER PRIOR TO RECEIVING A CLEARANCE FOR WATER METER(S)).

13. LOT 1, 7-11 SHALL NOT HAVE ACCESS FROM TERRY ROAD.

14. DEVELOPER SHALL INSTALL BUFFER FENCE ALONG LOTS 1, 7-11 TO RESTRICT ACCESS FROM TERRY ROAD.

15. EACH LOT SHALL HAVE IT'S OWN WATER METER.

16. SIDEWALK WILL BE REQUIRED ALONG TERRY ROAD AND WITHIN THE SUBDIVISION AS PER LATEST CITY OF EDINBURG ENGINEERING STANDARDS MANUAL OR AS DIRECTED BY CITY ENGINEER.

17. ALL INTERIOR LOTS SHALL HAVE 5-FT SIDEWALKS.

18. ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWP3) REQUIREMENTS.

19. ALL BEARING AND DISTANCES ARE BASED ON GRID COORDINATES.

**PRINCIPAL CONTACTS**

NAME	ADDRESS	CITY & ZIP	PHONE
CUATRO TIERRAS, L.P. A TEXAS LIMITED PARTNERSHIP	2211 HANCOCK DRIVE	AUSTIN, TX 78756	(512) 600-3119
JOHN R. MAYS	115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981
MARIO A. REYNA, P.E.	115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981
FRED L. KURTH, R.P.L.S.	115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981

**DRAWN BY:** \_\_\_\_\_ **DATE:** \_\_\_\_\_  
**SURVEYED, CHECKED:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

**HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL UNDER LOCAL GOVERNMENT CODE § 232.028 (A)**

STATE OF TEXAS COUNTY OF HIDALGO

WE, THE UNDERSIGNED, CERTIFY THAT THIS PLAT OF ENSENADA ESTATES SUBDIVISION WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON 31 DAY OF May 2022

*Antonio Guajardo Jr*  
HIDALGO COUNTY CLERK

ATTEST: *Antonio Guajardo Jr* 6/27/2022  
HIDALGO COUNTY CLERK

RECORDING ON 13th DAY OF May 2022

CHAIRPERSON OF PLANNING AND ZONING COMMISSION

**HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL HIDALGO COUNTY DRAINAGE DISTRICT NO. 1**

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.  
GENERAL MANAGER

DATE: 6-23-22

**ACKNOWLEDGMENT**

STATE OF TEXAS § COUNTY OF HIDALGO §

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED JOHN R. MAYS, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME, FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 5th DAY OF November 20 21

*Lydia Flores*  
NOTARY PUBLIC, STATE OF TEXAS  
MY COMMISSION EXPIRES: \_\_\_\_\_

**LYDIA FLORES**  
Notary Public, State of Texas  
Comm. Expires 06/20/2022  
Notary ID # 11239028

**METES AND BOUNDS DESCRIPTION**

A TRACT OF LAND CONTAINING 18.250 ACRES SITUATED IN THE COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF LOT 6, SECTION 249, TEXAS-MEXICAN RAILWAY COMPANY SURVEY, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGE 21, HIDALGO COUNTY MAP RECORDS, WHICH SAID 18.250 ACRES WERE CONVEYED TO CUATRO TIERRAS, LP ACCORDING TO WARRANTY DEED WITH VENDOR'S LIEN DOCUMENT NUMBER 3189944 HIDALGO COUNTY OFFICIAL RECORD # DEED WITHOUT WARRANTY RESERVING EASEMENT DOCUMENT NUMBER 3205692 HIDALGO COUNTY OFFICIAL RECORDS.

SAID 18.250 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A COTTON PICKER SPINDLE FOUND (N:16637140.470, E:115227.839) AT THE SOUTHWEST CORNER OF SAID LOT 6, SECTION 249;

THENCE, N 08° 53' 43" E A DISTANCE OF 717.75 FEET TO A NO. 4 REBAR SET (N:16637849.588, E:115538.822) AT THE SOUTHWEST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

1. THENCE, N 08° 53' 43" E ALONG THE WEST LOT LINE OF SAID LOT 6, A DISTANCE OF 602.25 FEET TO A NO. 4 REBAR FOUND FOR THE NORTHWEST CORNER OF THIS TRACT;

2. THENCE, S 81° 06' 17" E ALONG THE NORTH LOT LINE OF SAID LOT 6, AT A DISTANCE OF 1,300.00 FEET PASS WEST RIGHT-OF-WAY OF TERRY ROAD CONTAINING 0.830 ACRES TO A POINT OF BEGINNING AND CONTAINING 1,320.00 FEET TO A NAIL SET (N:16638240.490, E:1161736.070) FOR THE NORTHEAST CORNER OF THIS TRACT;

3. THENCE, S 08° 53' 43" W ALONG THE EAST LINE OF SAID LOT 6, AND WITHIN THE EXISTING RIGHT-OF-WAY OF TERRY ROAD, A DISTANCE OF 602.25 FEET TO A NAIL SET FOR THE SOUTHWEST CORNER OF THIS TRACT;

4. THENCE, N 81° 06' 17" W AT A DISTANCE OF 20.00 FEET PASS THE WEST RIGHT-OF-WAY OF TERRY ROAD CONTINUING A TOTAL DISTANCE OF 1,300.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 18.250 ACRES OF WHICH 0.830 ACRES LIES WITHIN THE EXISTING RIGHT-OF-WAY OF A 600-FOOT CANAL, LEAVING A NET OF 17.420 ACRES OF LAND, MORE OR LESS;

**INDEX TO SHEET ENSENADA ESTATES SUBDIVISION**

SHEET 1: HEADING; INDEX; LOCATION MAP AND ETJ; PRINCIPAL-CONTACTS; MAP; LOT, STREET, AND EASEMENT LAYOUT; DESCRIPTION (METES AND BOUNDS); SURVEYOR'S CERTIFICATION; PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION, ATTESTATION; ENGINEERING CERTIFICATION CITY; APPROVAL CERTIFICATE; NORTH ALAMO WATER SUPPLY CORPORATION CERTIFICATE; HIDALGO COUNTY JUDGE; COUNTY CLERK'S RECORDING CERTIFICATE; IRRIGATION DISTRICT NO. 1, H.C.D.D. NO. 1.

SHEET 2: ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND ENGINEERS CERTIFICATION (ENGLISH AND SPANISH VERSION); DETAILS.

SHEET 3: ENGINEERING REPORT, INCLUDING DESCRIPTION OF WASTE WATER / SANITARY SEWER AND ENGINEERS CERTIFICATION (ENGLISH AND SPANISH VERSION); DETAILS.

SHEET 4: MAP OF TOPOGRAPHY AND DRAINAGE; DRAINAGE REVISION NOTES, DRAINAGE REPORT, INCLUDING DESCRIPTION OF DRAINAGE AND DITCH WIDENING.

SHEET 5: STREET & STORM CONSTRUCTION DETAILS.

**HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL UNDER LOCAL GOVERNMENT CODE § 232.028 (A)**

STATE OF TEXAS COUNTY OF HIDALGO

WE, THE UNDERSIGNED, CERTIFY THAT THIS PLAT OF ENSENADA ESTATES SUBDIVISION WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON 31 DAY OF May 2022

*Antonio Guajardo Jr*  
HIDALGO COUNTY CLERK

ATTEST: *Antonio Guajardo Jr* 6/27/2022  
HIDALGO COUNTY CLERK

RECORDING ON 13th DAY OF May 2022

CHAIRPERSON OF PLANNING AND ZONING COMMISSION

**HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL HIDALGO COUNTY DRAINAGE DISTRICT NO. 1**

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.  
GENERAL MANAGER

DATE: 6-23-22

**ACKNOWLEDGMENT**

STATE OF TEXAS § COUNTY OF HIDALGO §

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED JOHN R. MAYS, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME, FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 5th DAY OF November 20 21

*Lydia Flores*  
NOTARY PUBLIC, STATE OF TEXAS  
MY COMMISSION EXPIRES: \_\_\_\_\_

**LYDIA FLORES**  
Notary Public, State of Texas  
Comm. Expires 06/20/2022  
Notary ID # 11239028

**METES AND BOUNDS DESCRIPTION**

A TRACT OF LAND CONTAINING 18.250 ACRES SITUATED IN THE COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF LOT 6, SECTION 249, TEXAS-MEXICAN RAILWAY COMPANY SURVEY, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGE 21, HIDALGO COUNTY MAP RECORDS, WHICH SAID 18.250 ACRES WERE CONVEYED TO CUATRO TIERRAS, LP ACCORDING TO WARRANTY DEED WITH VENDOR'S LIEN DOCUMENT NUMBER 3189944 HIDALGO COUNTY OFFICIAL RECORD # DEED WITHOUT WARRANTY RESERVING EASEMENT DOCUMENT NUMBER 3205692 HIDALGO COUNTY OFFICIAL RECORDS.

SAID 18.250 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A COTTON PICKER SPINDLE FOUND (N:16637140.470, E:115227.839) AT THE SOUTHWEST CORNER OF SAID LOT 6, SECTION 249;

THENCE, N 08° 53' 43" E A DISTANCE OF 717.75 FEET TO A NO. 4 REBAR SET (N:16637849.588, E:115538.822) AT THE SOUTHWEST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

1. THENCE, N 08° 53' 43" E ALONG THE WEST LOT LINE OF SAID LOT 6, A DISTANCE OF 602.25 FEET TO A NO. 4 REBAR FOUND FOR THE NORTHWEST CORNER OF THIS TRACT;

2. THENCE, S 81° 06' 17" E ALONG THE NORTH LOT LINE OF SAID LOT 6, AT A DISTANCE OF 1,300.00 FEET PASS WEST RIGHT-OF-WAY OF TERRY ROAD CONTAINING 0.830 ACRES TO A POINT OF BEGINNING AND CONTAINING 1,320.00 FEET TO A NAIL SET (N:16638240.490, E:1161736.070) FOR THE NORTHEAST CORNER OF THIS TRACT;

3. THENCE, S 08° 53' 43" W ALONG THE EAST LINE OF SAID LOT 6, AND WITHIN THE EXISTING RIGHT-OF-WAY OF TERRY ROAD, A DISTANCE OF 602.25 FEET TO A NAIL SET FOR THE SOUTHWEST CORNER OF THIS TRACT;

4. THENCE, N 81° 06' 17" W AT A DISTANCE OF 20.00 FEET PASS THE WEST RIGHT-OF-WAY OF TERRY ROAD CONTINUING A TOTAL DISTANCE OF 1,300.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 18.250 ACRES OF WHICH 0.830 ACRES LIES WITHIN THE EXISTING RIGHT-OF-WAY OF A 600-FOOT CANAL, LEAVING A NET OF 17.420 ACRES OF LAND, MORE OR LESS;

**INDEX TO SHEET ENSENADA ESTATES SUBDIVISION**

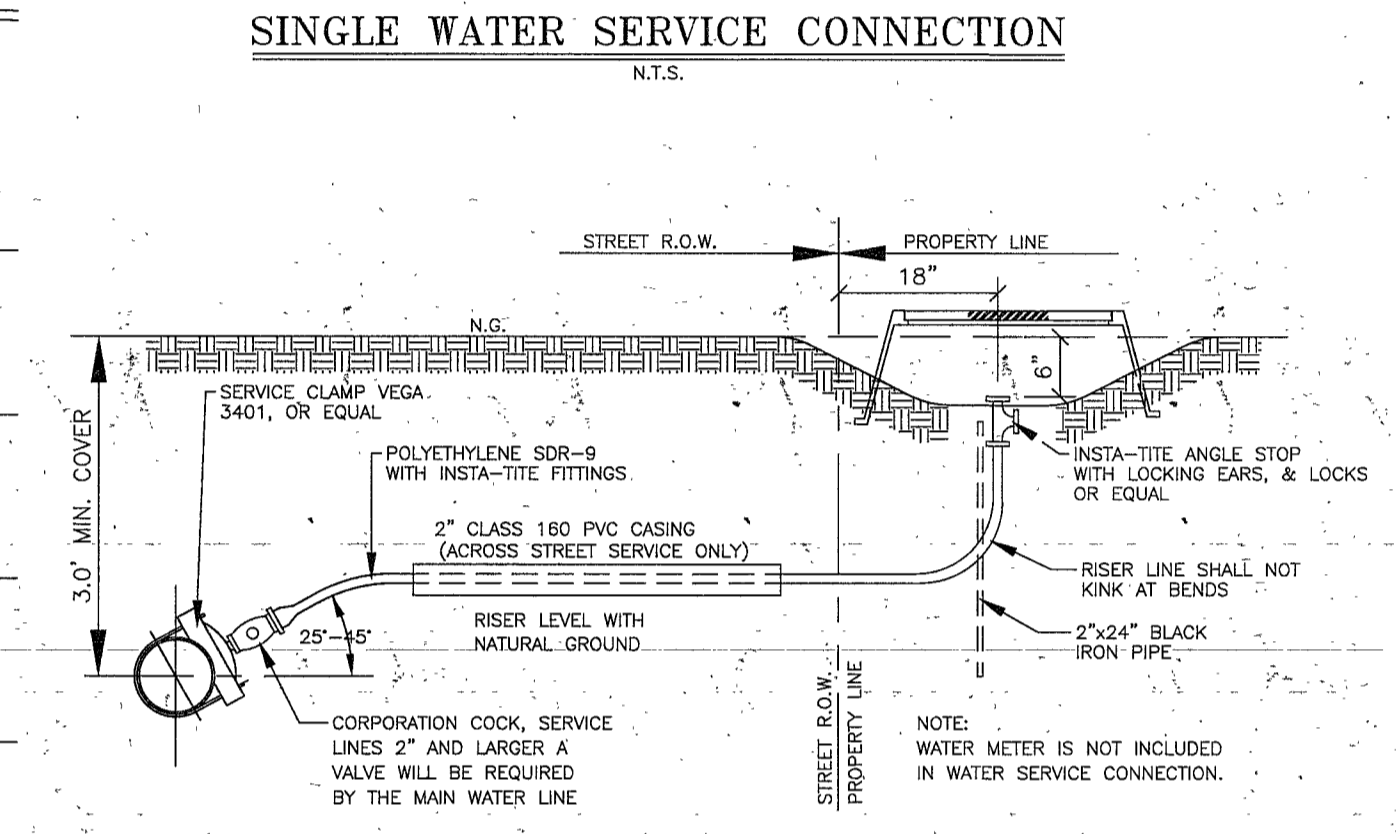
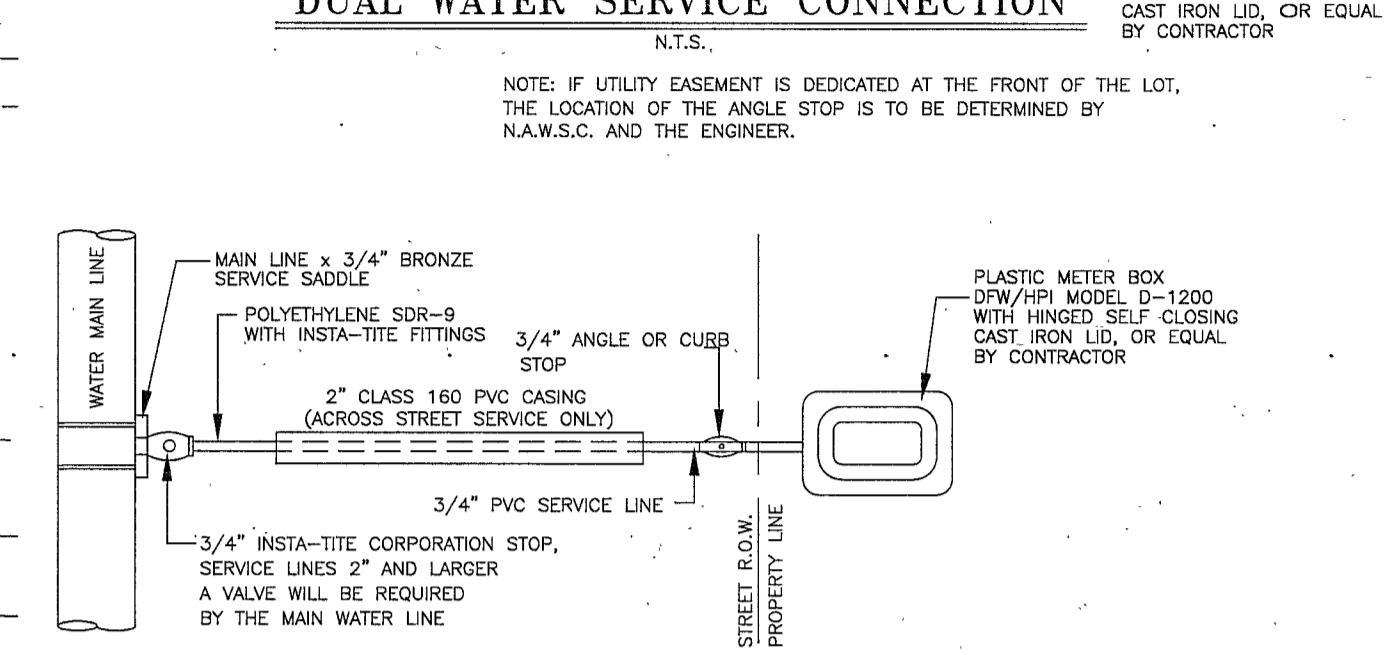
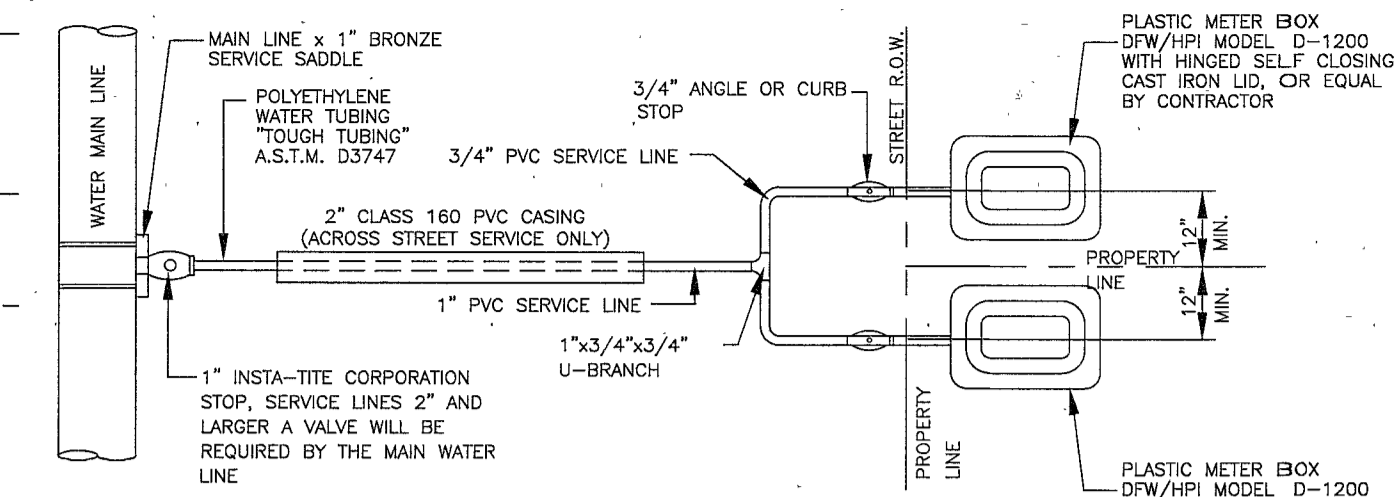
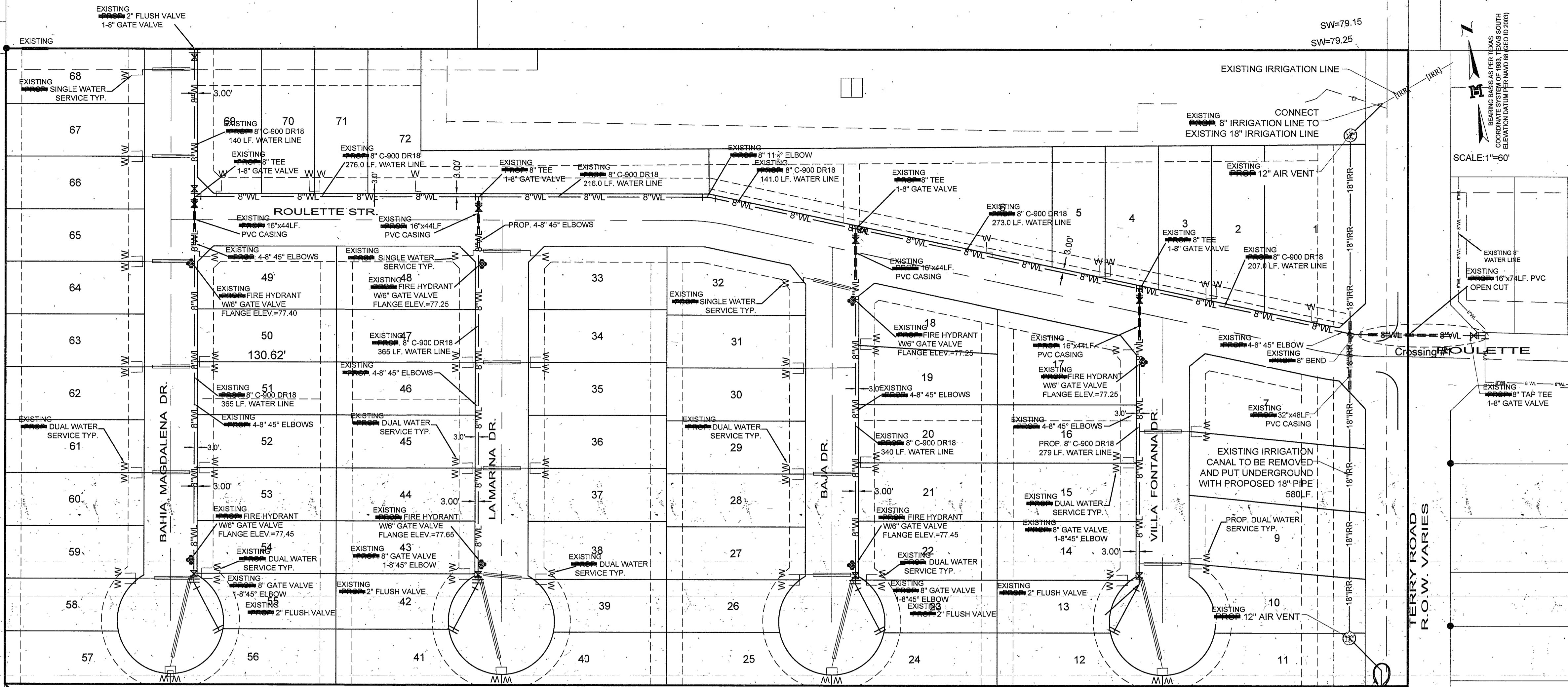
SHEET 1: HEADING; INDEX; LOCATION MAP AND ETJ; PRINCIPAL-CONTACTS; MAP; LOT, STREET, AND EASEMENT LAYOUT; DESCRIPTION (METES AND BOUNDS); SURVEYOR'S CERTIFICATION; PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION, ATTESTATION; ENGINEERING CERTIFICATION CITY; APPROVAL CERTIFICATE; NORTH ALAMO WATER SUPPLY CORPORATION CERTIFICATE; HIDALGO COUNTY JUDGE; COUNTY CLERK'S RECORDING CERTIFICATE; IRRIGATION DISTRICT NO. 1, H.C.D.D. NO. 1.

SHEET 2: ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND ENGINEERS CERTIFICATION (ENGLISH AND SPANISH VERSION); DETAILS.

SHEET 3: ENGINEERING REPORT, INCLUDING DESCRIPTION OF WASTE WATER / SANITARY SEWER AND ENGINEERS CERTIFICATION (ENGLISH AND SPANISH VERSION); DETAILS.

SHEET 4: MAP OF TOPOGRAPHY AND DRAINAGE; DRAINAGE REVISION NOTES, DRAINAGE REPORT, INCLUDING DESCRIPTION OF DRAINAGE AND DITCH WIDENING.

SHEET 5: STREET & STORM CONSTRUCTION DETAILS.



**COST ESTIMATE:**

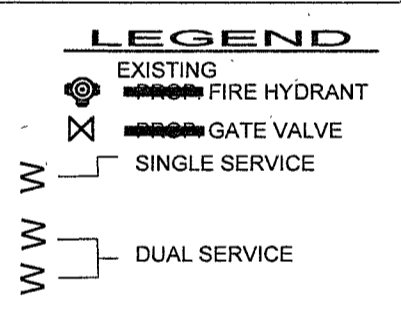
PAVING IMPROVEMENTS:	\$ 475,681.00
DRAINAGE IMPROVEMENTS:	\$ 155,127.00
WATER DISTRIBUTION:	\$ 190,083.00
SANITARY SEWER IMPROVEMENTS / OSSF:	\$ 175,431.00

**ESTIMACION DE COSTOS:**

PAVIMENTACION DE CALLES:	\$ 475,681.00
DREAJE PLUVIAL:	\$ 155,127.00
SERVICIO DE AGUA POTABLE:	\$ 190,083.00
SERVICIO DE DRENAJE SANITARIO:	\$ 175,431.00

**MAP OF WATER DISTRIBUTION SYSTEM**  
**MAPA DE SISTEMA DE DISTRIBUCION DE AGUA**

SUBDIVISION MAP OF  
**ENSENADA ESTATES SUBDIVISION**  
BEING 18.250 ACRES OUT OF  
LOT 6, BLOCK 249,  
TEXAS-MEXICAN RAILWAY COMPANY SURVEY  
VOLUME 1, PAGE 21, H.C.M.R.  
HIDALGO COUNTY, TEXAS



**WATER SUPPLY: DESCRIPTION, COST, AND OPERABILITY DATE:**

ENSENADA ESTATES SUBDIVISION WILL BE PROVIDED WITH POTABLE WATER BY NORTH ALAMO WATER SUPPLY CORPORATION (N.A.W.S.C.). THE SUBDIVIDER AND N.A.W.S.C. HAVE ENTERED INTO A CONTRACT IN WHICH N.A.W.S.C. HAS PROMISED TO PROVIDE SUFFICIENT WATER TO THE SUBDIVISION FOR AT LEAST 30 YEARS AND N.A.W.S.C. HAS PROVIDED DOCUMENTATION TO SUFFICIENTLY ESTABLISH THE LONG TERM QUANTITY AND QUALITY OF THE AVAILABLE WATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF THIS SUBDIVISION.

N.A.W.S.C. HAS AN EXISTING 8" WATER LINE RUNNING ALONG THE EAST RIGHT-OF-WAY OF TERRY ROAD. THE WATER SYSTEM FOR ENSENADA ESTATES SUBDIVISION CONSISTS OF AN 8" WATER LINE THAT TAPS INTO THE EXISTING 8" LINE. THIS 8" LINE CROSSING TERRY ROAD AND RUNS WEST ALONG THE NORTH SIDE OF ROULETTE STREET RIGHT-OF-WAY ENDING WITH A TEE AT THE SOUTHWEST CORNER OF LOT 69. ANOTHER 8" LINE CONNECTS TO THE PREVIOUSLY MENTIONED 8" WATER ALONG THE SOUTH LINE OF LOT 4 AND RUNS SOUTH ALONG THE WEST SIDE OF VILLA FONTANA DRIVE ENDING WITH A 2" FLUSH VALVE AT THE NORTHEAST CORNER OF LOT 13. ANOTHER 8" LINE TAPS INTO THE 8" WATER LINE ALONG THE NORTH SIDE OF THE RIGHT-OF-WAY OF ROULETTE STREET AND RUNNING SOUTH ALONG THE EAST SIDE OF BAJA DRIVE, ENDING WITH A 2" FLUSH VALVE AT THE NORTHWEST CORNER OF LOT 23. ANOTHER 8" LINE TAPS INTO THE 8" WATER LINE ALONG THE NORTH SIDE OF THE RIGHT-OF-WAY OF ROULETTE STREET AND RUNNING SOUTH ALONG THE WEST SIDE OF LA MARINA DRIVE, ENDING WITH A 2" FLUSH VALVE AT THE NORTHEAST CORNER OF LOT 42. ANOTHER 8" LINE CONNECTS TO THE TEE AT THE SOUTHWEST CORNER OF LOT 69 AND RUNS NORTH AND SOUTH ENDING WITH A 2" FLUSH VALVE AT THE NORTHWEST CORNER OF LOT 69 AND THE NORTHWEST CORNER OF LOT 55 TO SERVE THIS SUBDIVISION.

WATER DISTRIBUTION FOR THE ENSENADA ESTATES SUBDIVISION CONSISTS OF THIRTY-ONE (31) 1" DIAMETER DUAL SERVICE LINES RUN TO PAIRS OF LOTS BEFORE SPLITTING INTO 1/2" SERVICE LINES AND TEN (10) SINGLE SERVICE LINES. SAID SERVICES TERMINATE AT THE WATER METER BOXES FOR EACH LOT. THE 8" LINE, THE DUAL SERVICES AND 1/2" SINGLE SERVICES, AND THE METER BOXES HAVE ALREADY BEEN INSTALLED. AT A TOTAL COST OF \$190,083.00, OR \$2,677.22 PER LOT. IN ADDITION, THE SUBDIVIDER HAS PAID N.E.W.S.C. THE SUM OF \$95,850.00 WHICH COVERS THE \$1,250,000 COST PER LOT AS STATED IN THE 30 YEAR WATER SERVICE AGREEMENT WHICH SUM REPRESENTS THE TOTAL COST OF WATER METER, RIGHTS ACQUISITION FEES, AND ALL MEMBERSHIP OR OTHER FEES ASSOCIATED WITH CONNECTING THE INDIVIDUAL LOTS IN THE SUBDIVISION TO N.E.W.S.C. UPON REQUEST BY THE LOT OWNER, N.A.W.S.C. WILL PROMPTLY INSTALL AT NO CHARGE THE WATER METER FOR THAT LOT. THE SUBDIVIDER HAS INSTALLED 7 FIRE HYDRANTS AT A UNIT COST OF \$4,660.00 FOR A TOTAL COST OF \$32,620.00. THE ENTIRE WATER FACILITIES HAVE BEEN APPROVED AND ACCEPTED BY N.E.W.S.C. AND SAID DISTRIBUTION SYSTEM IS OPERABLE AS OF THE DATE OF THE RECORDING OF THE PLAT.

**PROVISION DE AGUA: DESCRIPCION, GASTOS Y FECHAS DE INICIO**

LA SUBDIVISION ENSENADA ESTATES RECIBIRA SU PROVISION DE AGUA DE NORTH ALAMO WATER SUPPLY CORPORATION (LA COMPANIA DE AGUA N.A.W.S.C.). EL DUEÑO DE LA SUBDIVISION Y N.A.W.S.C. HAN FIRMADO UN CONTRATO POR EL CUAL LA SUBDIVISION RECIBIRA SU PROVISION DE AGUA POR LOS PROXIMOS 30 AÑOS. N.A.W.S.C. HA PRESENTADO DOCUMENTACION PARA DEMOSTRAR A LARGO PLAZO LA CANTIDAD Y CALIDAD DE AGUA ACCESIBLE PARA SERVIR EL FUTURO DESARROLLO DE LA SUBDIVISION.

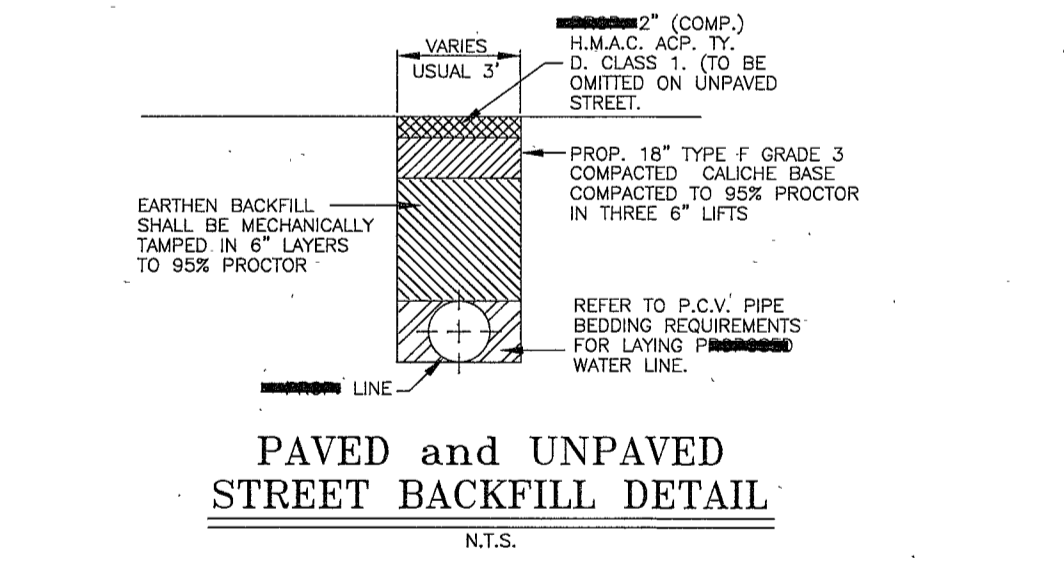
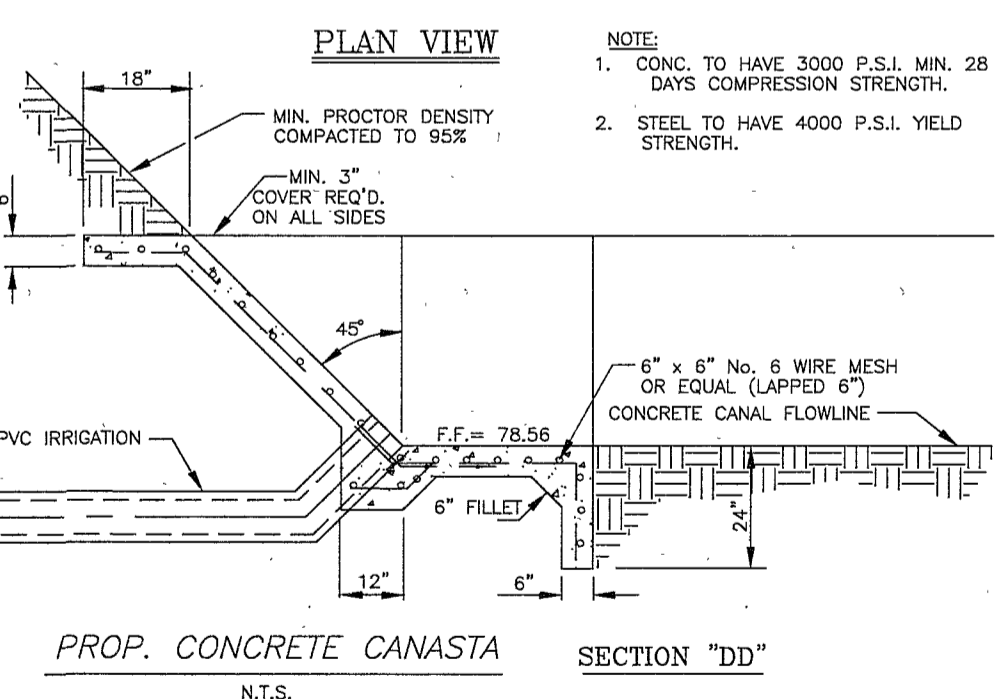
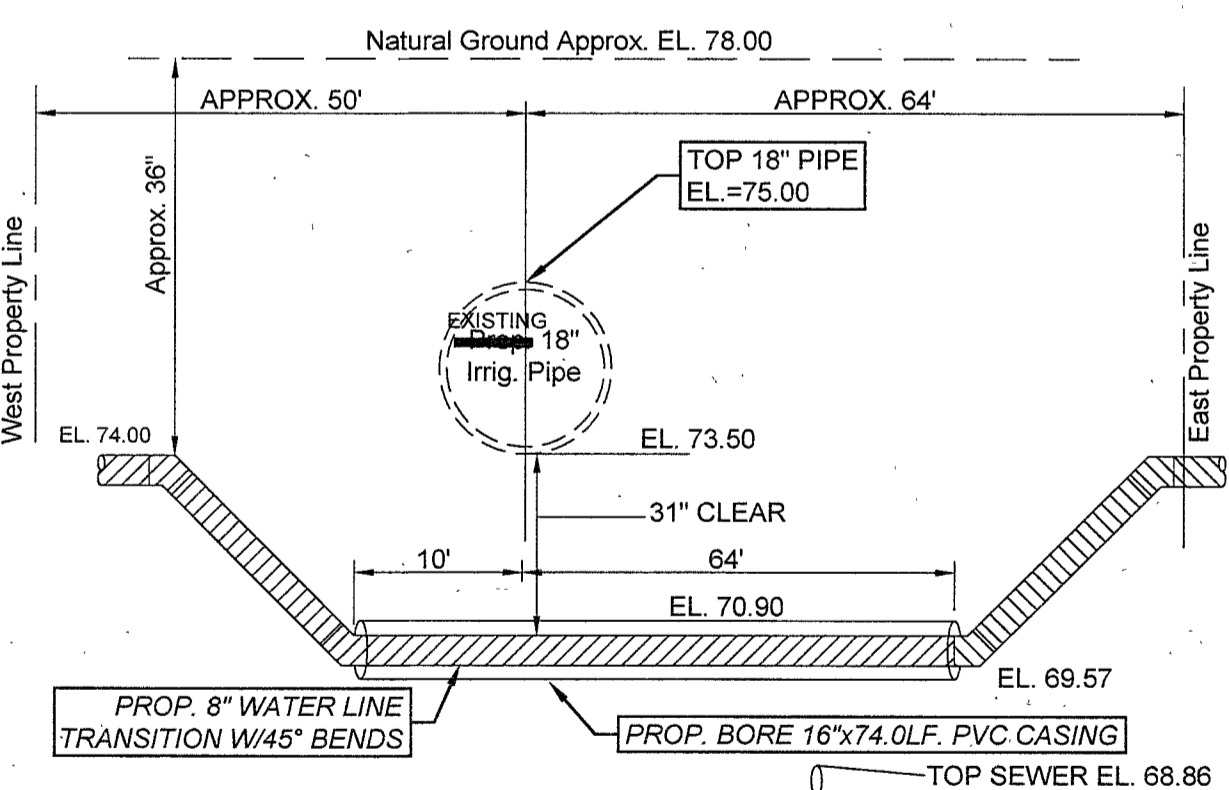
EL SISTEMA DE PROVISION DE AGUA PARA LA SUBDIVISION ENSENADA ESTATES CONSISTE DE UN CONDUCTO DE AGUA DE 8" QUE PASA POR EL LADO ESTE DEL DERECHO DE VIA (RIGHT OF WAY) DE LA CARRETERA TERRY ROAD. EL SISTEMA DE PROVISION DE AGUA DE LA SUBDIVISION ENSENADA ESTATES CONSISTE DE UN CONDUCTO DE AGUA DE 8" QUE SE CONECTA CON EL CONDUCTO DE AGUA EXISTENTE DE 8". ESTA LINEA DE 8" SIGUE HACIA EL OESTE CRUZANDO A TERRY ROAD Y SIGUE POR EL LADO NORTE DE LA CALLE ROULETTE STREET, TERMINARA CON UNA TEE DE 8" LOCALIZADA AL SUROESTE DE LOTE 69. OTRO CONDUCTO DE AGUA DE 8" SE CONECTA A LA LINEA PREVIAMENTE Y SIGUE CORRIENDO AL SUR POR EL LADO OESTE DE LA CALLE VILLA FONTANA DRIVE TERMINARA CON UNA VALVULA DE PRESION DE 2" LOCALIZADA AL NOROESTE DE LOTE 13. OTRO CONDUCTO DE 8" SERA CONECTADO A LA LINEA DE AGUA PREVIAMENTE MENCIONADA EN EL LADO NORTE DE CENICISTA DRIVE Y SIGUE CORRIENDO AL SUR POR EL LADO ESTE DE LA CALLE BAJA DRIVE TERMINARA CON UNA VALVULA DE PRESION DE 2" LOCALIZADA AL NOROESTE DE LOTE 23. OTRO CONDUCTO DE 8" SERA CONECTADO A LA LINEA DE AGUA PREVIAMENTE MENCIONADA EN EL LADO NORTE DE ROULETTE STREET Y SIGUE CORRIENDO AL SUR POR EL LADO OESTE DE LA CALLE LA MARINA DRIVE TERMINARA CON UNA VALVULA DE PRESION DE 2" LOCALIZADA AL NOROESTE DE LOTE 42. OTRO CONDUCTO DE 8" SERA CONECTADO A LA TEE EN EL LADO SUROESTE DE LOTE 69 Y SIGUE CORRIENDO AL NORTE Y EL SUR POR EL LADO ESTE DE LA CALLE BAJA MAGDALENA DRIVE TERMINARA CON UNA VALVULA DE PRESION DE 2" LOCALIZADA AL NOROESTE DE LOTE 69 Y SUROESTE DE LOTE 55 PARA SERVIR ESTA SUBDIVISION.

DEL CONDUCTO DE AGUA DE 8" SE PRODUCEN TREINTA-UN (31) DOBLE-CONDUCTOS DE AGUA DE 1" PARA CADA DOS LOTES. ESTOS CONDUCTOS SE SEPARAN PARA PRODUCIR DOS CONDUCTOS DE AGUA DE 1/2" PARA CADA LOTE, Y DIOS CONDUCTOS INDIVIDUALES DE AGUA DE 1/2" PARA CADA LOTE Y SE HAN INSTALADO LOS CONDUCTOS DE AGUA DE 8". LOS DOBLE-CONDUCTOS DE AGUA DE 1", EL CONDUCTO DE 3/4", Y LOS MEDIDORES MECANICOS DE AGUA A UN COSTO TOTAL DE \$190,083.00 O \$2,677.22 POR LOTE. EL DUEÑO DE LA SUBDIVISION TAMBIEN LE HA PAGADO A LA COMPANIA N.A.W.S.C. \$95,850.00 QUE CUBRE EL COSTO DEL MEDIDOR MECANICO DE AGUA PARA CADA LOTE, \$ 1,250,000 PRECIO INCLUYE EL COSTO DE LA INSTALACION DE CADA MEDIDOR Y LOS GASTOS DE CONEXION CUANDO EL DUEÑO DE CADA LOTE SOLICITE UN MEDIDOR DE AGUA. LA COMPANIA N.A.W.S.C. LO INSTALARA SIN ALGUN GASTO AL DUEÑO. EL DUEÑO DE LA SUBDIVISION TAMBIEN HA INSTALADO 7 BOCAS DE RIEGO (FIRE HYDRANT) A UN COSTO DE \$ 4,660.00 POR CADA UNO CUAL GASTA UNA CANTIDAD TOTAL \$32,620.00. EL SISTEMA DE AGUA ESTARA EN FUNCIONAMIENTO COMPLETO ANTES O EN LA FECHA, EN LA CUAL LA SUBDIVISION SEA REGISTRADA EN EL CONDADO DE HIDALGO.

**CERTIFICACION:**  
CON MI FIRMA, CERTIFICO QUE LOS SERVICIOS Y SISTEMAS DE AGUA Y DE DRENAJE, DESCRITOS EN ESTE DOCUMENTO CUMPLEN CON LAS MODEL SUBDIVISION RULES (LAS REGLAS GOBERNANDO A LAS SUBDIVISIONES), ADOPTADAS EN LA SECCION 18.343 DEL TEXAS WATER CODE (CODIGO DE AGUA DE TEXAS). CERTIFICO QUE LOS GASTOS PARA INSTALAR LOS SISTEMAS DE AGUA Y DE DRENAJE SON:

AGUA: EL SISTEMA/SERVICIO DE AGUA SERA INSTALADO Y COMPLETAMENTE CONSTRUIDO MENOS EL MEDIDOR MECANICO DE AGUA QUE COSTARA UN TOTAL DE \$285,933.00 O \$4,627.22. POR LOTE.

MELDEN & HUNT, INC.  
TEXAS REGISTRATION F-1435  
MARIO A. REYNA  
117368  
LICENSED PROFESSIONAL ENGINEER

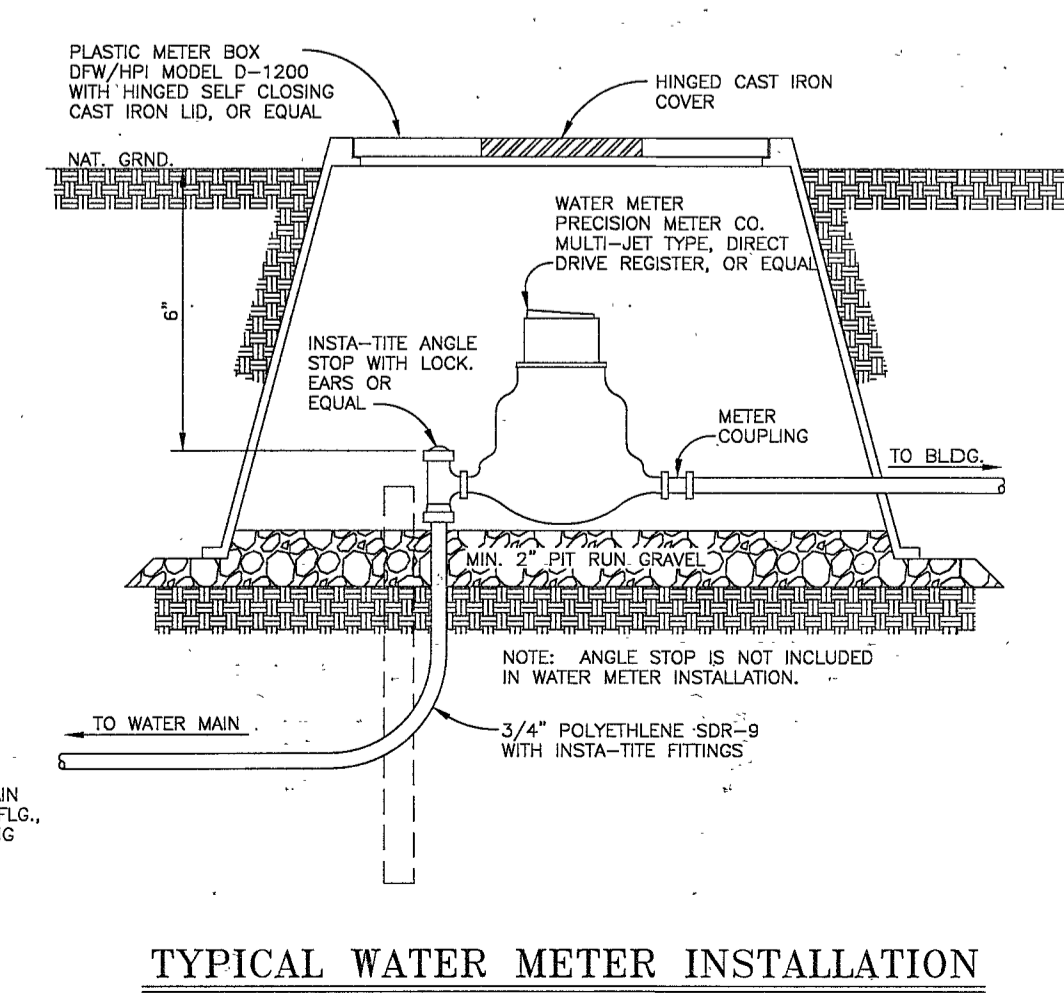
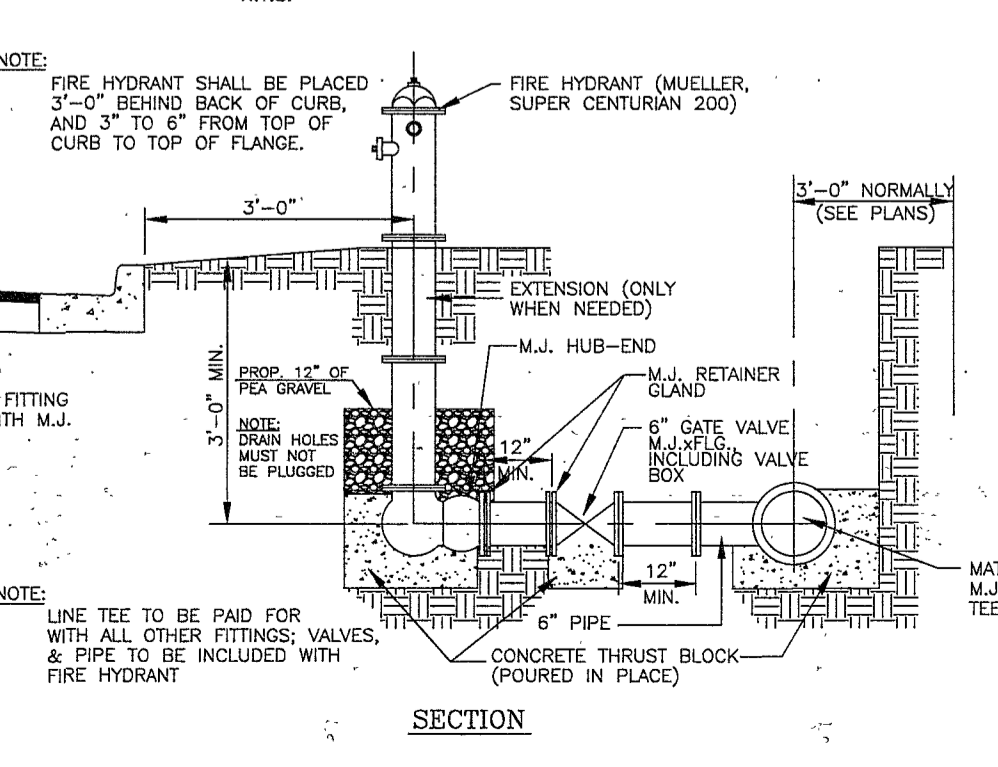
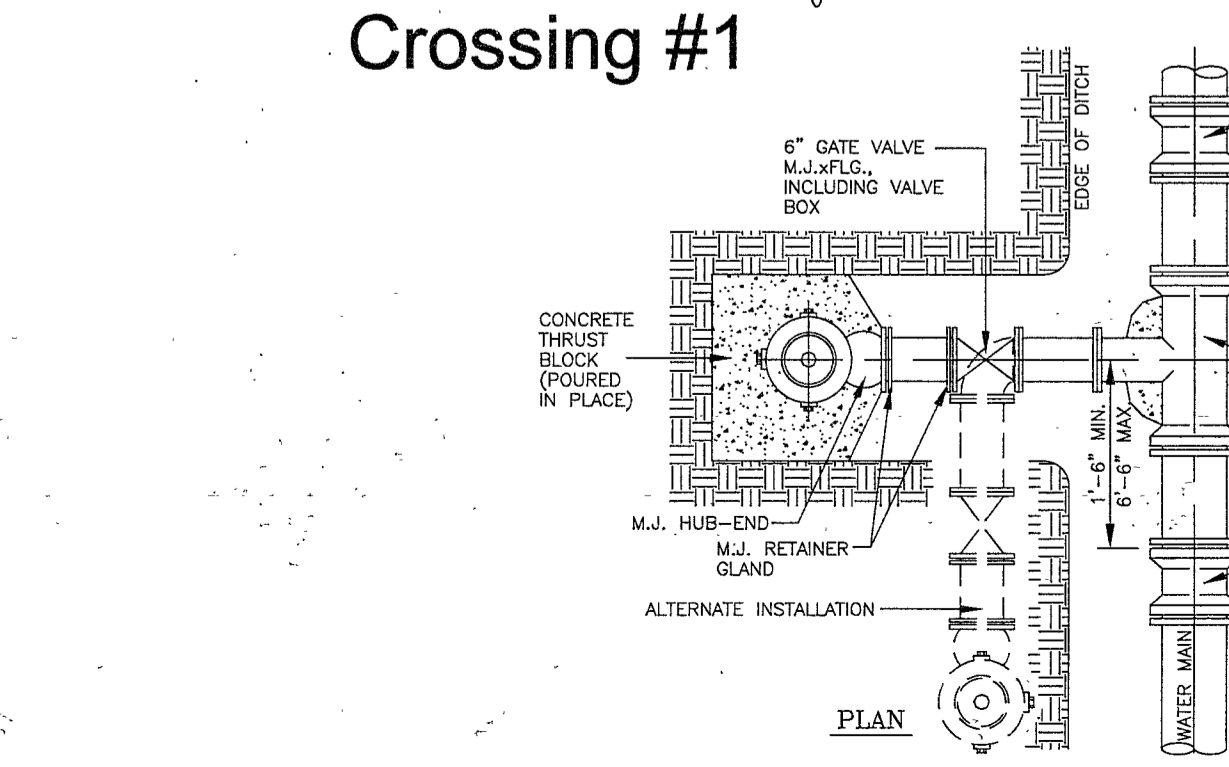


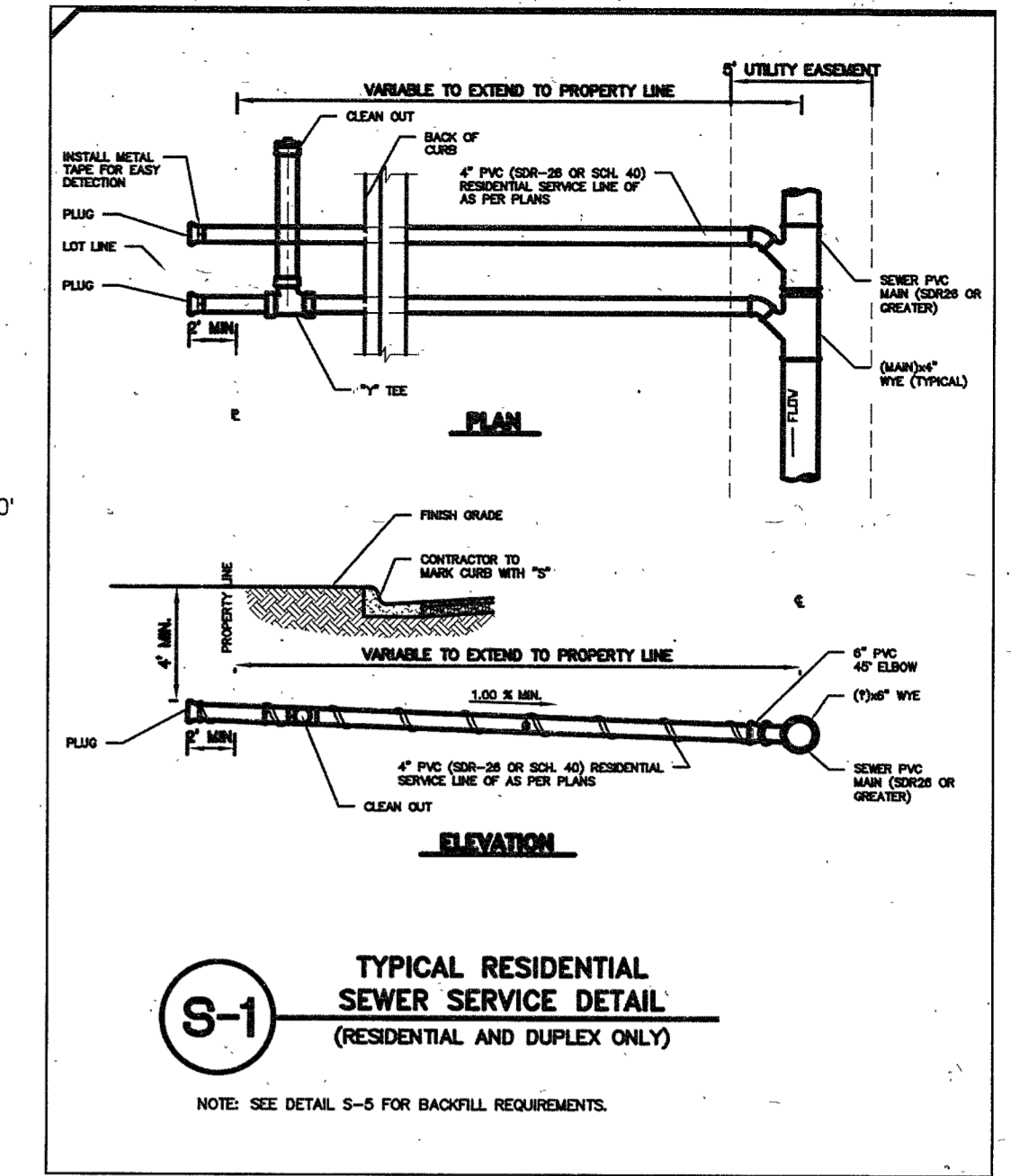
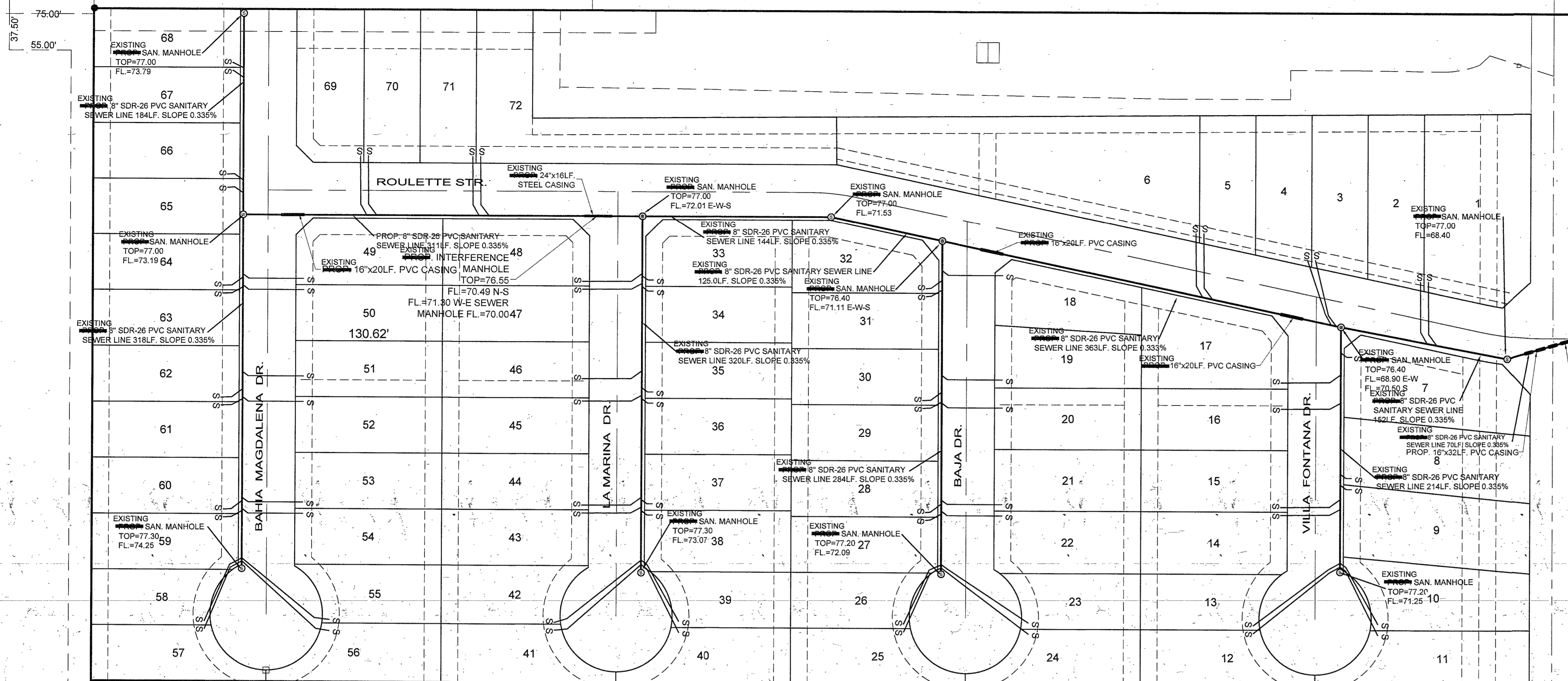
**ENGINEER CERTIFICATION.**  
BY MY SIGNATURE BELOW, I CERTIFY THAT THE WATER AND SEWAGE SERVICE FACILITIES DESCRIBED ABOVE ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 18.343, WATER CODE. I CERTIFY THAT THE COSTS TO INSTALL WATER AND SEWAGE FACILITIES, DISCUSSED ABOVE, ARE AS FOLLOWS:

**WATER FACILITIES - THESE FACILITIES FULLY CONSTRUCTED, WITH THE INSTALLATION OF WATER METERS, WILL COST A GRAND TOTAL OF \$285,933.00 WHICH EQUALS TO \$4,627.22 PER LOT.**

MELDEN & HUNT, INC.  
TEXAS REGISTRATION F-1435  
MARIO A. REYNA  
117368  
LICENSED PROFESSIONAL ENGINEER

MELDEN & HUNT, INC.  
CONSULTANTS • ENGINEERS • SURVEYORS  
115 W. McINTYRE - EDINBURG, TX 78541  
PH: (956) 381-0981 - FAX: (956) 381-1839  
ESTABLISHED 1947 - www.meldenandhunt.com





MAP OF SEWER DISTRIBUTION SYSTEM  
 MAPA DE SISTEMA DE DISTRIBUCION DE DRENAJE SANITARIO

SUBDIVISION MAP OF  
 ENSENADA ESTATES SUBDIVISION  
 BEING 18.250 ACRES OUT OF  
 LOT 6, BLOCK 249,  
 TEXAS-MEXICAN RAILWAY COMPANY SURVEY  
 VOLUME 1, PAGE 21, H.C.M.R.  
 HIDALGO COUNTY, TEXAS

**SUBDIVIDER CERTIFICATION**  
 1. BY COMPLETING THE IMPROVEMENTS DESCRIBED ON THE PLAT, SUBDIVIDER WILL COMPLY WITH MINIMUM STATE STANDARDS AND THAT (a) WATER QUALITY AND CONNECTIONS INCLUDING WATER METERS AND OR WATER WELLS FOR EACH LOT(S) MEET SUCH STANDARDS AND (b) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET OR WILL MEET SUCH STANDARDS AND WILL BE CONSTRUCTED IN ACCORDANCE WITH STATE AND COUNTY REGULATIONS.

**SUBDIVIDER STATEMENT:**  
 1. I, CUATRO TIERRAS, L.P., SUBDIVIDER OF ENSENADA ESTATES SUBDIVISION, HEREBY CERTIFY SEWER PERMITS HAVE BEEN PAID AND COPIES OF RECEIPTS ARE ON FILE WITH THE HIDALGO COUNTY HEALTH DEPARTMENT THAT ANY ADEQUATE DRINKING WATER SOURCE IS IMMEDIATELY AVAILABLE TO EACH LOT OF THE TYPE, QUALITY & QUANTITY TO ENABLE EACH PERSON PURCHASING A LOT HAVE ADEQUATE WATER TO COMPLY WITH THE REGULATIONS AND LAWS OF THE STATE AS REQUIRED BY STATE AND COUNTY REGULATIONS.

*John R. Mays*  
 JOHN R. MAYS  
 11410 FM 483  
 DONNA, TEXAS 78537

STATE OF TEXAS  
 COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOHN R. MAYS, KNOWN TO ME THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO BE THAT HE EXECUTED THE SAME FOR PURPOSED AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF

OFFICE THIS THE 28th DAY OF June 20, 2022

*Lydia Flores*  
 LYDIA FLORES  
 Notary Public, State of Texas  
 Comm. Expires 06/20/2022  
 Notary ID # 11239128

**WASTEWATER SUPPLY: DESCRIPTION, COST, AND OPERABILITY DATE.**  
 ENSENADA ESTATES SUBDIVISION WILL BE TREATED BY WASTEWATER SERVICE FROM NORTH ALAMO WATER SUPPLY CORPORATION (N.A.W.S.C.). THE SUBDIVIDER AND N.A.W.S.C. HAVE ENTERED INTO A CONTRACT IN WHICH N.A.W.S.C. HAS PROMISED TO TREAT THE SUFFICIENT WASTEWATER FOR AT LEAST 30 YEARS AND N.A.W.S.C. HAS PROVIDED DOCUMENTATION TO SUFFICIENTLY ESTABLISH THE LONG TERM QUANTITY AND QUALITY OF THE AVAILABLE WASTEWATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF THIS SUBDIVISION.

N.A.W.S.C. HAS AN EXISTING 8" SEWER LINE RUNNING ALONG THE CENTER OF TERRY ROAD RIGHT-OF-WAY RUNNING EAST AND NORTH. THE WASTEWATER SYSTEM FOR ENSENADA ESTATES SUBDIVISION CONSISTS OF AN 8" SEWER LINE THAT TAPS INTO THE EXISTING SANITARY MANHOLE. THIS 8" SANITARY SEWER LINE THEN RUNS WEST ALONG THE SOUTH SIDE OF ROULETTE STREET RIGHT-OF-WAY ENDING WITH A 48" SANITARY SEWER MANHOLE ON THE SOUTHEAST CORNER OF LOT 64 THEN RUNS NORTH ALONG THE EAST SIDE OF BAHIA MAGDALENA DRIVE RIGHT-OF-WAY ENDING WITH A 48" SANITARY MANHOLE AT THE NORTHEAST CORNER OF LOT 68. ANOTHER 8" LINE CONNECTING TO A 48" SANITARY MANHOLE AT THE SOUTH RIGHT-OF-WAY OF ROULETTE STREET THEN RUNS SOUTH ALONG THE EAST RIGHT-OF-WAY OF VILLA FONTANA DRIVE ENDING WITH A 48" SANITARY MANHOLE AT THE NORTHWEST CORNER OF LOT 10. ANOTHER 8" LINE CONNECTING TO A 48" SANITARY MANHOLE AT THE SOUTH RIGHT-OF-WAY OF ROULETTE STREET THEN RUNS SOUTH ALONG THE WEST RIGHT-OF-WAY OF BAJA DRIVE ENDING WITH A 48" SANITARY MANHOLE AT THE SOUTHEAST CORNER OF LOT 26. ANOTHER 8" LINE CONNECTING TO A 48" SANITARY MANHOLE AT THE SOUTH RIGHT-OF-WAY OF ROULETTE DRIVE THEN RUNS SOUTH ALONG THE EAST RIGHT-OF-WAY OF LA MARINA DRIVE ENDING WITH A 48" SANITARY MANHOLE AT THE NORTHWEST CORNER OF LOT 39. ANOTHER 8" LINE CONNECTING TO A 48" SANITARY MANHOLE AT THE WEST RIGHT-OF-WAY OF BAHIA MAGDALENA DRIVE THEN RUNS SOUTH ALONG THE WEST RIGHT-OF-WAY OF BAHIA MAGDALENA DRIVE ENDING WITH A 48" SANITARY MANHOLE AT THE SOUTHEAST CORNER OF LOT 59 TO SERVE THIS SUBDIVISION.

THE 6" LINE, 4" SERVICE LINE AND ELEVEN (11) 48" SANITARY SEWER MANHOLES HAVE BEEN INSTALLED. AT A TOTAL COST OF \$176,431.00 OR \$2,470.86 PER LOT. IN ADDITION, THE SUBDIVIDER HAS PAID N.A.W.S.C. THE SUM OF \$1,025.00 WHICH COVERS THE \$15.84 PER LOT AS STATED IN THE 30 YEAR WASTE WATER SERVICE AGREEMENT WHICH SUM REPRESENTS THE TOTAL COST OF THE SERVICES AND ACQUISITION FEES, AND ALL MEMBERSHIP OR OTHER FEES ASSOCIATED WITH CONNECTING THE INDIVIDUAL LOTS IN THE SUBDIVISION TO N.E.W.S.C. THE ENTIRE WASTE WATER FACILITIES HAVE BEEN APPROVED AND ACCEPTED BY N.A.W.S.C. AND SAID DISTRIBUTION SYSTEM IS OPERABLE AS OF THE DATE OF THE RECORDING OF THE PLAT.

**ENGINEER CERTIFICATION:**  
 BY MY SIGNATURE BELOW, I CERTIFY THAT THE WATER AND SEWAGE SERVICE FACILITIES DESCRIBED ABOVE ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.343, WATER CODE. I CERTIFY THAT THE COSTS TO INSTALL WATER AND SEWAGE FACILITIES, DISCUSSED ABOVE, ARE AS FOLLOWS:

SEWAGE FACILITIES - THESE FACILITIES FULLY CONSTRUCTED WILL COST A GRAND TOTAL OF \$176,560.00 WHICH EQUALS TO \$2,486.70 PER LOT.

*M. & H. 6-2-22*  
 ENGINEER'S SIGNATURE DATE

MELDEN & HUNT, INC.  
 TEXAS REGISTRATION F-1435

*M. & H. 6-2-22*  
 ENGINEER'S SIGNATURE DATE

MELDEN & HUNT, INC.  
 TEXAS REGIST. F-1435  
 CONSULTANTS • ENGINEERS • SURVEYORS  
 115 W. MCINTYRE - EDINBURG, TX 78641  
 PH: (956) 381-0981 - FAX: (956) 381-1839  
 ESTABLISHED 1947 - www.meldenandhunt.com

**DRENAJE: DESCRIPCION, GASTOS Y FECHA DE INICIO PARA FACILITAR EL DRENAJE PARA LA SUBDIVISION**  
 LA SUBDIVISION ENSENADA ESTATES RECIBIRA SU PROVISION DE DRENAJE SANITARIO DE NORTH ALAMO WATER SUPPLY CORPORATION (LA COMPANIA DE DRENAJE SANITARIO N.A.W.S.C.). EL DUEÑO DE LA SUBDIVISION Y N.A.W.S.C. HAN FIRMADO UN CONTRATO POR EL CUAL LA SUBDIVISION RECIBIRA SU PROVISION DE DRENAJE SANITARIO POR LOS PROXIMOS 30 AÑOS. N.A.W.S.C. HA PRESENTADO DOCUMENTACION PARA DEMOSTRAR A LARGO PLAZO LA CANTIDAD Y CALIDAD DE DRENAJE SANITARIO ACCESIBLE PARA SERVIR EL FUTURO DESARROLLO DE LA SUBDIVISION.

EL SISTEMA DE PROVISION DE DRENAJE SANITARIO PARA LA SUBDIVISION ENSENADA ESTATES CONSISTE DE UN CONDUCTO DE DRENAJE DE 8" QUE PASA POR EL CENTRO DEL DERECHO DE VIA (RIGHT OF WAY) DE LA CARRETERA TERRY ROAD. EL SISTEMA DE PROVISION DE DRENAJE SANITARIO DE LA SUBDIVISION ENSENADA ESTATES CONSISTE DE UN CONDUCTO DE DRENAJE DE 8" QUE SE CONECTA CON EL CONDUCTO DE DRENAJE SANITARIO EXISTENTE DE 8". ESTA LINEA DE 8" CUAL SIGUE HACIA EL OESTE POR EL LADO SUR DE LA CALLE ROULETTE STREET TERMINARA CON UNA ALCANTARILLA DE 48" LOCALIZADA AL SURESTE DE LOTE 65 LUEGO SIGE AL NORTE POR EL LADO OESTE DE BAHIA MAGDALENA DRIVE TERMINADA CON UNA ALCANTARILLA DE 48" LOCALIZADA AL NOROESTE DE LOTE 68. OTRO CONDUCTO DE DRENAJE DE 8" SE CONECTA CON UNA ALCANTARILLA DE 48" LOCALIZADO AL NOROESTE DE LOTE 7 Y CONTINUA CORRIENDO AL SUR POR EL LADO ESTE DE LA CALLE VILLA FONTANA DRIVE. TERMINANDO CON UNA ALCANTARILLA DE 48" LOCALIZADO AL NOROESTE DE LOTE 10. OTRO CONDUCTO DE DRENAJE DE 8" SE CONECTA CON UNA ALCANTARILLA DE 48" LOCALIZADO AL NOROESTE DE LOTE 32 Y CONTINUA CORRIENDO AL SUR POR EL LADO OESTE DE LA CALLE BAJA DRIVE, TERMINANDO CON UNA ALCANTARILLA DE 48" LOCALIZADO AL NOROESTE DE LOTE 27. OTRO CONDUCTO DE DRENAJE DE 8" SE CONECTA CON UNA ALCANTARILLA DE 48" LOCALIZADO AL NOROESTE DE LOTE 33 Y CONTINUA CORRIENDO AL SUR POR EL LADO ESTE DE LA CALLE LA MARINA DRIVE, TERMINANDO CON UNA ALCANTARILLA DE 48" AL NOROESTE DE LOTE 39. OTRO CONDUCTO DE DRENAJE DE 8" SE CONECTA CON UNA ALCANTARILLA DE 48" LOCALIZADO AL SURESTE DE LOTE 65 Y CONTINUA CORRIENDO AL SUR POR EL LADO OESTE DE LA CALLE BAHIA MAGDALENA DRIVE, TERMINANDO CON UNA ALCANTARILLA DE 48" AL SURESTE DE LOTE 59.

DE ESTAS LINEAS DE DRENAJE SANITARIO DE 8". SETENTA DOS (72) LINEAS DE SERVICIO DE 4" SERAN EXTENDIDAS HA CADA LOTE. LA LINEA DE 8 PULGADAS, DE 4" Y ONSE (11) ALCANTARILLAS HAN SIDO INSTALADAS, HA UN COSTO TOTAL DE \$175,431.00 O \$2,470.86 POR LOTE. EL DUEÑO DE LA SUBDIVISION TAMBIEN LE HA PAGADO A LA COMPANIA N.A.W.S.C. UN COSTO TOTAL DE \$1,025.00, O \$15.84 POR LOTE. EL SISTEMA DE DRENAJE SANITARIO ESTARA EN FUNCIONAMIENTO COMPLETO ANTES O EN LA FECHA, EN LA CUAL LA SUBDIVISION SEA REGISTRADA EN EL CONDADO DE HIDALGO.

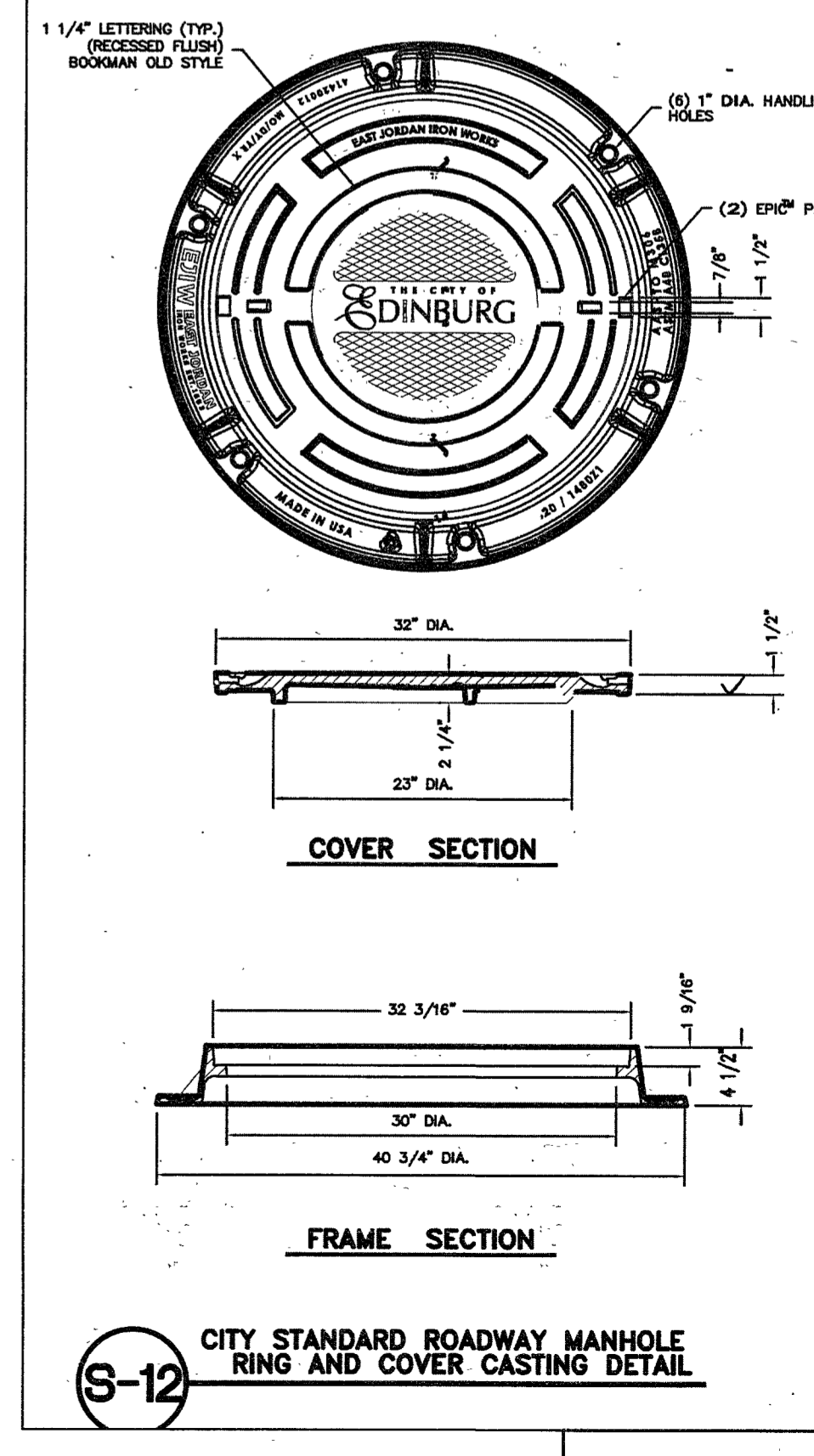
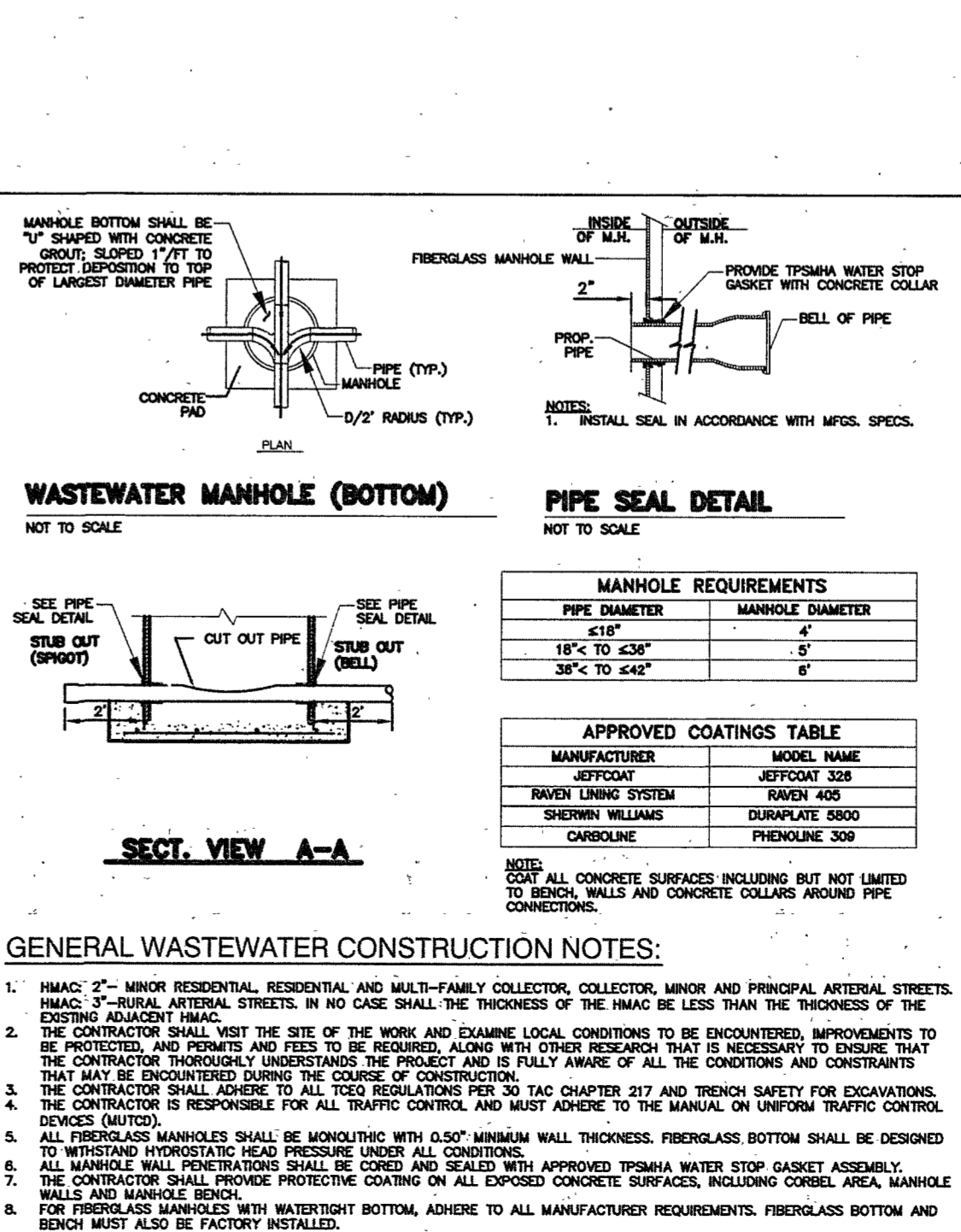
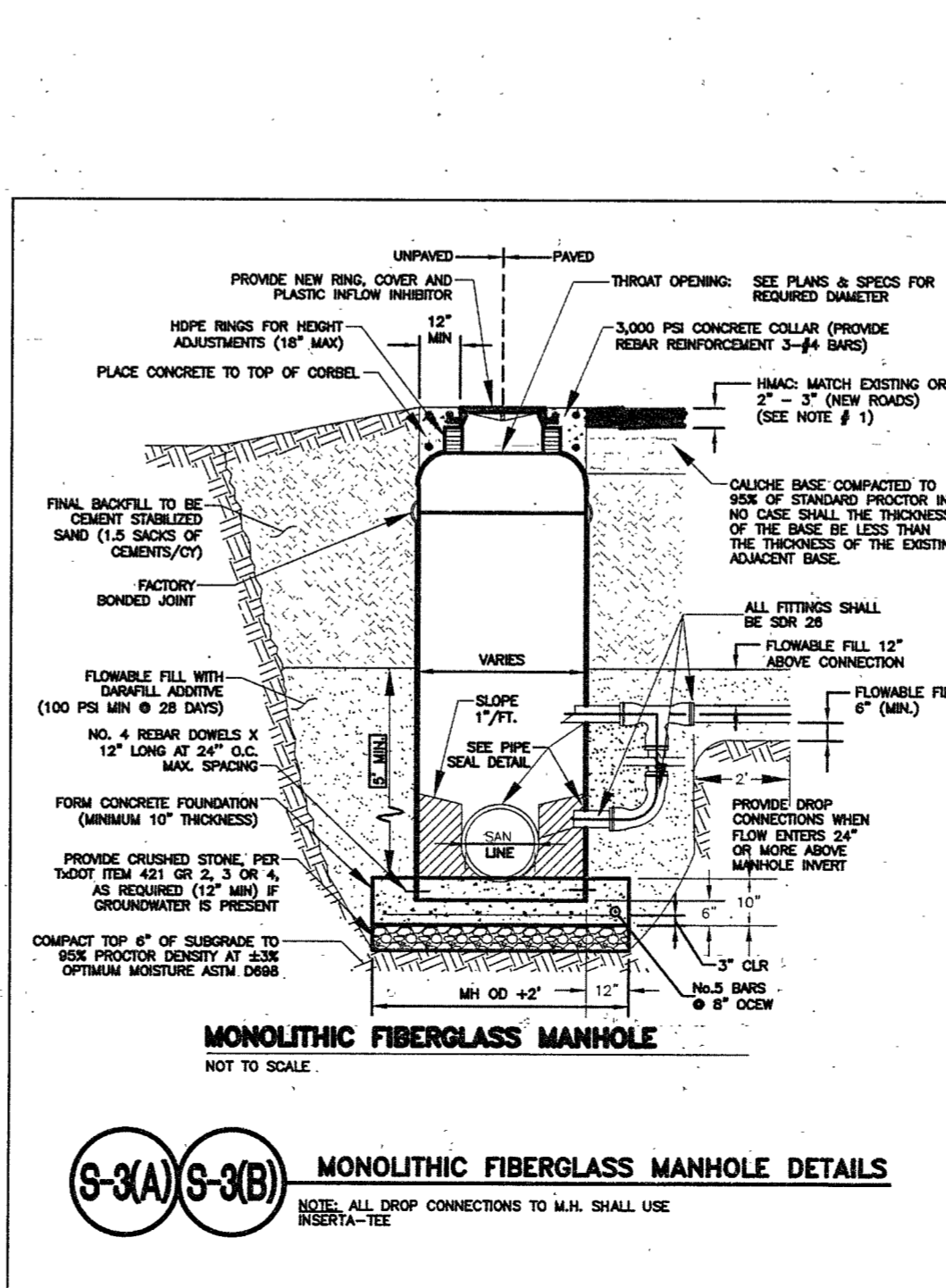
**CERTIFICACION:**  
 CON MI FIRMA, CERTIFICO QUE LOS SERVICIOS Y SISTEMAS DE AGUA Y DE DRENAJE, DESCRITOS EN ESTE DOCUMENTO CUMPLEN CON LAS MODEL SUBDIVISION RULES (LAS REGLAS GOBERNANDO A LAS SUBDIVISIONES), ADOPTADAS EN LA SECCION 16.343 DEL TEXAS WATER CODE (CODIGO DE AGUA DE TEXAS), CERTIFICO QUE LOS GASTOS PARA INSTALAR LOS SISTEMAS DE AGUA Y DE DRENAJE SON:

DRENAJE: SE ESTIMA QUE EL DRENAJE COSTARA UN COSTO TOTAL DE \$176,560.00 O \$2,486.70 POR LOTE.

MELDEN & HUNT, INC.  
 TEXAS REGISTRATION F-1435

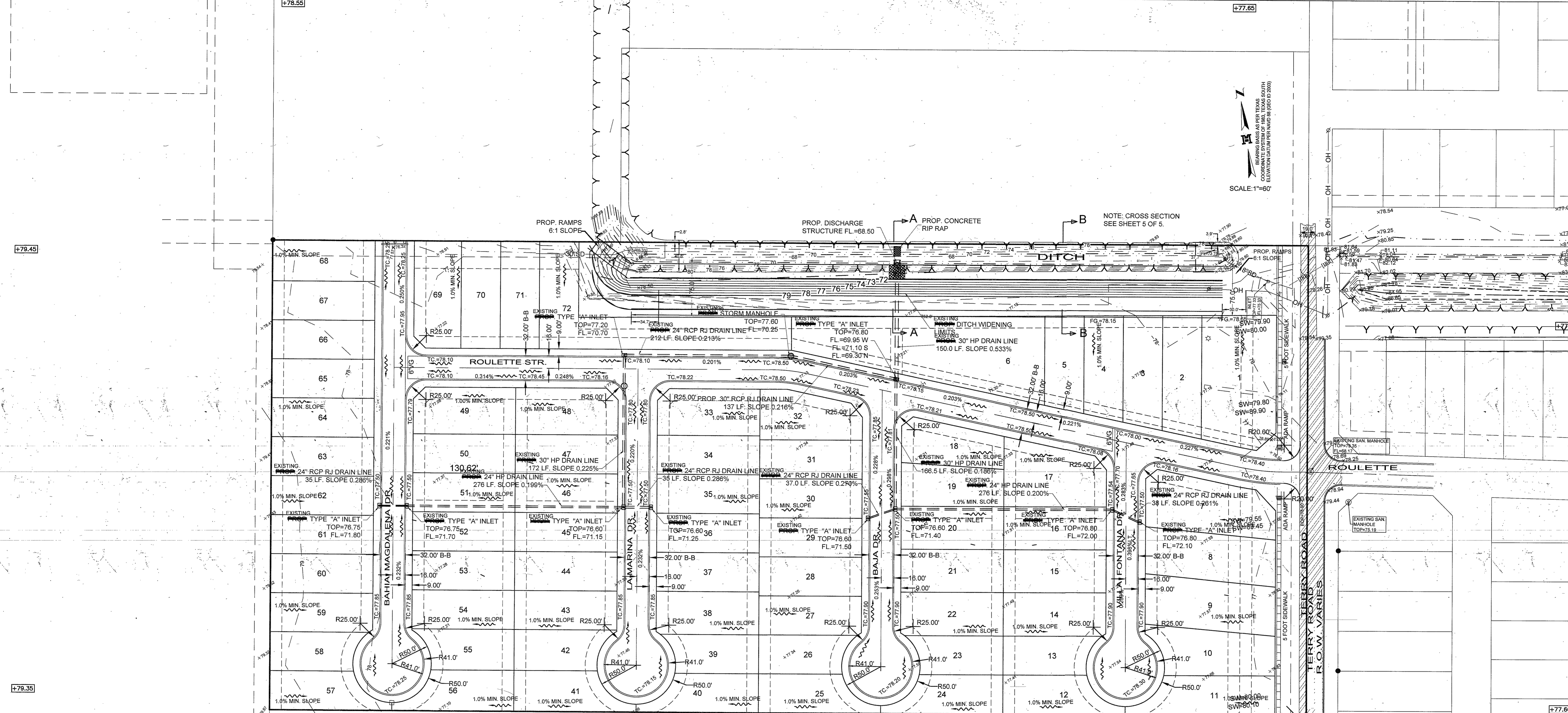
*M. & H. 6-2-22*  
 ENGINEER'S SIGNATURE DATE

MELDEN & HUNT, INC.  
 TEXAS REGIST. F-1435  
 CONSULTANTS • ENGINEERS • SURVEYORS  
 115 W. MCINTYRE - EDINBURG, TX 78641  
 PH: (956) 381-0981 - FAX: (956) 381-1839  
 ESTABLISHED 1947 - www.meldenandhunt.com



**GENERAL WASTEWATER CONSTRUCTION NOTES:**

- HMAC 2" - MINOR RESIDENTIAL, RESIDENTIAL AND MULTI-FAMILY COLLECTOR, COLLECTOR, MINOR AND PRINCIPAL ARTERIAL STREETS. HMAC 3" - MAJOR ARTERIAL STREETS. IN NO CASE SHALL THE THICKNESS OF THE HMAC BE LESS THAN THE THICKNESS OF THE EXISTING ADJACENT HMAC.
- THE CONTRACTOR SHALL VERIFY THE SITE OF THE WORK AND EXAMINE LOCAL CONDITIONS TO BE ENCOUNTERED. IMPROVEMENTS TO BE PROTECTED, AND PERMITS AND FEES TO BE OBTAINED, ALONG WITH OTHER RESEARCH THAT IS NECESSARY TO ENSURE THAT THE CONTRACTOR THOROUGHLY UNDERSTANDS THE PROJECT AND IS FULLY AWARE OF ALL THE CONDITIONS AND CONSTRAINTS THAT MAY BE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION.
- THE CONTRACTOR SHALL ADHERE TO ALL TxDOT REGULATIONS PER TAC CHAPTER 217 AND BENCH SAFETY FOR DITCHAVALANCE. THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL AND MUST ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL FIBERGLASS MANHOLES SHALL BE MONOLITHIC WITH 0.50" MINIMUM WALL THICKNESS. FIBERGLASS BOTTOM SHALL BE DESIGNED TO WITHSTAND HYDROSTATIC HEAD PRESSURE UNDER ALL CONDITIONS.
- ALL MANHOLE WALL PENETRATIONS SHALL BE CORDED AND SEALED WITH APPROVED TSPMA WATER STOP GASKET ASSEMBLY.
- CONCRETE SURFACES SHALL PROTECTIVE COATING ON ALL EXPOSED CONCRETE SURFACES, INCLUDING CORNER AREA, MANHOLE WALLS AND MANHOLE BENCH.
- FOR FIBERGLASS MANHOLES WITH WATERSTOP BOTTOM, ADHERE TO ALL MANUFACTURER REQUIREMENTS. FIBERGLASS BOTTOM AND BENCH MUST ALSO BE FACTORY INSTALLED.



BEARING BASED ON PER TEXAS SOUTH COORDINATE SYSTEM  
ELEVATION DATUM PER NAVD 88 (GEO ID 2000)  
SCALE: 1"=60'

**DRAINAGE STATEMENT**  
ENSENADA ESTATES SUBDIVISION

ENSENADA ESTATES SUBDIVISION A TRACT OF LAND CONTAINING 18.250 ACRES SITUATED IN THE COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF LOT 6, SECTION 249, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGE 21, HIDALGO COUNTY MAP RECORDS, SAID 17.213 ACRES WERE CONVEYED TO ROMAN VERA JR. AND/OR EDNA V. VERA, TRUSTEE AND THEIR SUCCESSORS-IN-TRUST OF THE ROMAN & EDNA VERA LIVING TRUST ACCORDING TO THE WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2045447, HIDALGO COUNTY OFFICIAL RECORDS. THIS SUBDIVISION FALLS IN "ZONE X" (SHADED) ACCORDING TO FEMA FIRM COMMUNITY-PANEL NUMBER: 480334 0325 D MAP REVISED: JUNE 6, 2000, REVISED TO REFLECT LOMR: MAY 17, 2001. "ZONE X" (SHADED) IS DEFINED AS "AREAS OF 500-YEAR FLOOD; AREAS IF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD." THE PROPERTY IS LOCATED APPROXIMATELY 700 FEET NORTH OF THE INTERSECTION OF MILE 17 ROAD N. & ALONG THE WEST SIDE OF TERRY ROAD. THE PROPERTY IS CURRENTLY OPEN WITH A PROPOSED USE OF 71 RESIDENTIAL LOTS, IN THE CITY OF EDINBURG ETJ, TEXAS.

THE SOILS IN THIS AREA ARE (25) HIDALGO FINE SANDY LOAM, (28) HIDALGO SANDY CLAY LOAM & (52) RAYMONDVILLE CLAY LOAM, WHICH ARE IN HYDROLOGIC GROUP "B" & "C". THESE SOILS ARE MODERATELY PERVIOUS AND HAVE A RELATIVELY LOW PLASTICITY INDEX. (SEE EXCERPTS FROM "SOIL SURVEY OF HIDALGO COUNTY, TEXAS").

EXISTING RUNOFF IS IN AN EASTERLY DIRECTION, WITH A RUNOFF OF 9.94 C.F.S. DURING THE 10-YEAR STORM FREQUENCY AS PER THE ATTACHED CALCULATIONS. PROPOSED RUNOFF AFTER DEVELOPMENT IS 37.65 C.F.S., DURING THE 50-YEAR STORM FREQUENCY, PER THE ATTACHED CALCULATION, WHICH IS AN INCREASE OF 27.71 C.F.S.

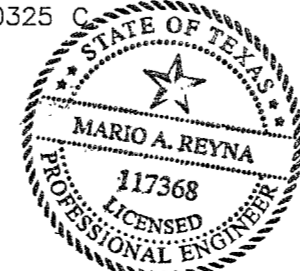
THE PROPOSED DRAINAGE FOR THIS SUBDIVISION SHALL CONSIST OF SURFACE RUNOFF FROM THE LOTS INTO THE PROPOSED STREETS AND COLLECTED BY TYPE "A" INLETS LOCATED AT KEY POINTS WITHIN THE SUBDIVISION. THE PIPE SIZE DIAMETERS SHALL RANGE FROM 24" TO 30". THE PROPOSED STORM SYSTEM SHALL DISCHARGE INTO AN EXISTING HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 DITCH, WHICH WILL BE WIDENED TO ACCOMMODATE THE APPROPRIATE DETENTION WHICH IS LOCATED ON THE NORTH BOUNDARY LINE OF THE SITE. THE H.C.D.D. NO. 1 DITCH FLOW WEST 1.75 MILE EAST THEN NORTH 1.25 NORTH ULTIMATELY DISCHARGING INTO THE MONTE CRISTO MAIN DRAIN (H.C.D.D. #1) ALONG THE SOUTH SIDE OF MONTE CRISTO ROAD. THE EXISTING CONCRETE IRRIGATION CANAL ALONG THE WEST SIDE OF TERRY ROAD SHALL BE REPLACED WITH AN 18" IRRIGATION PVC PIPE PLACED UNDERGROUND.

IN ACCORDANCE WITH THE COUNTY OF HIDALGO DRAINAGE POLICY, THE PEAK RATE OF RUNOFF IN THIS SUBDIVISION WILL NOT BE INCREASED DURING THE 50-YEAR RAINFALL EVENT DUE TO THE BUILDING OF THIS SUBDIVISION. THEREFORE, AS PER ATTACHED CALCULATIONS, THE REQUIRED 77,115 CUBIC FEET OF DETENTION WILL BE PROVIDED WITHIN THE WIDENING OF THE HIDALGO COUNTY DITCH.

CERTIFICATION:  
BY MY SIGNATURE BELOW, I CERTIFY THAT THE 100 YEAR FLOODPLAIN AS DESCRIBED IN COMMUNITY PANEL NUMBER 480334 0325 D, REVISED NOVEMBER 16, 1982 IS CONTAINED WITHIN THE DRAINAGE SWALES ALONG THE REAR OF ALL LOTS OF THE SUBDIVISION.

MARIO A. REYNA, P.E. # 117368

6-2-22  
DATE:

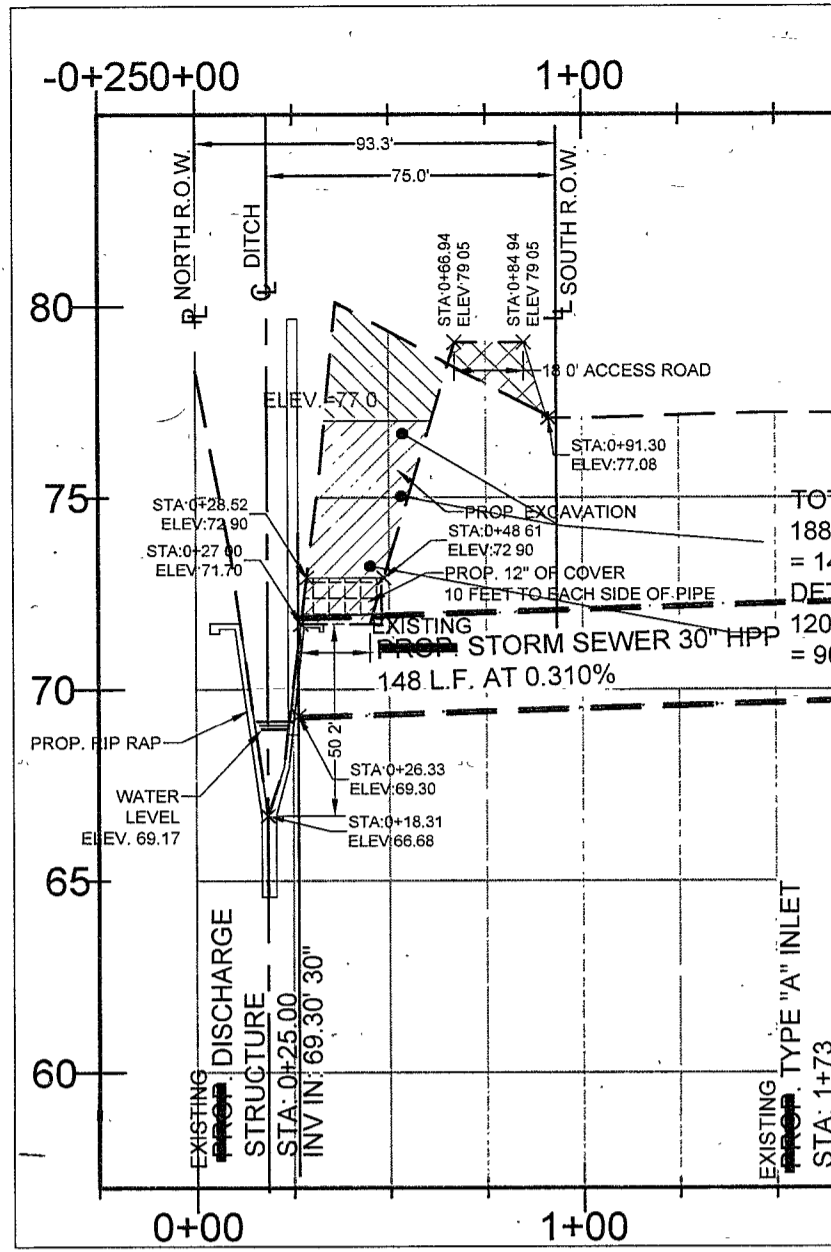


**MAP OF TOPOGRAPHY AND DRAINAGE:**  
**MAPA DE TOPOGRAFIA Y DESAGUE:**  
SUBDIVISION MAP OF  
**ENSENADA ESTATES SUBDIVISION**  
BEING 18.250 ACRES OUT OF  
LOT 6, BLOCK 249,  
TEXAS-MEXICAN RAILWAY COMPANY SURVEY  
VOLUME 1, PAGE 21, H.C.M.R.  
HIDALGO COUNTY, TEXAS

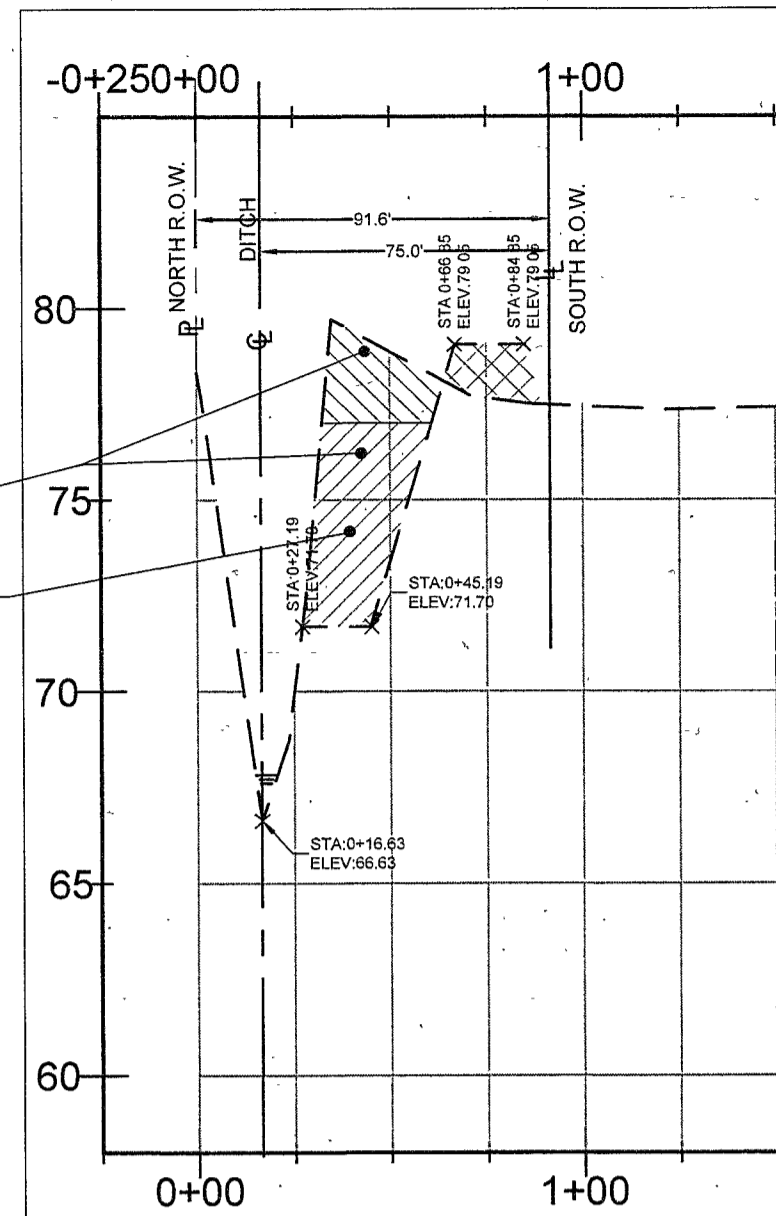
- LEGEND**
- x77.57- EXISTING ELEVATION
  - TC=77.10- TOP OF CURB
  - FG=77.85- FINISH GRADE
  - [Symbol] EXISTING ELEVATION 400 FEET AWAY
  - [Symbol] STORM SEWER MANHOLE
  - [Symbol] TYPE "A" INLET
  - [Symbol] GAS MARKER
  - [Symbol] GAS LINE

MELDEN & HUNT, INC.  
TEXAS REGIST. F-1435  
CONSULTANTS • ENGINEERS • SURVEYORS  
115 W. McINTYRE - EDINBURG, TX 78541  
PH: (956) 381-0981 - FAX: (956) 381-1839  
ESTABLISHED 1947 - www.meldenandhunt.com

DETENTION REQUIRED= 77,115 C.F.  
 DETENTION PROVIDED= 90,240 C.F.  
 TOTAL EXCAVATION = 141,376 C.F.

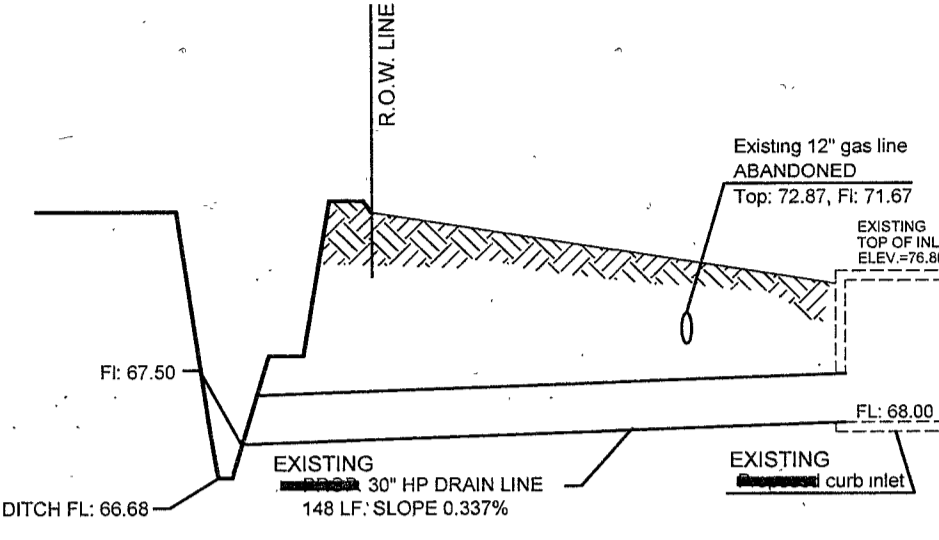


SECTION A-A



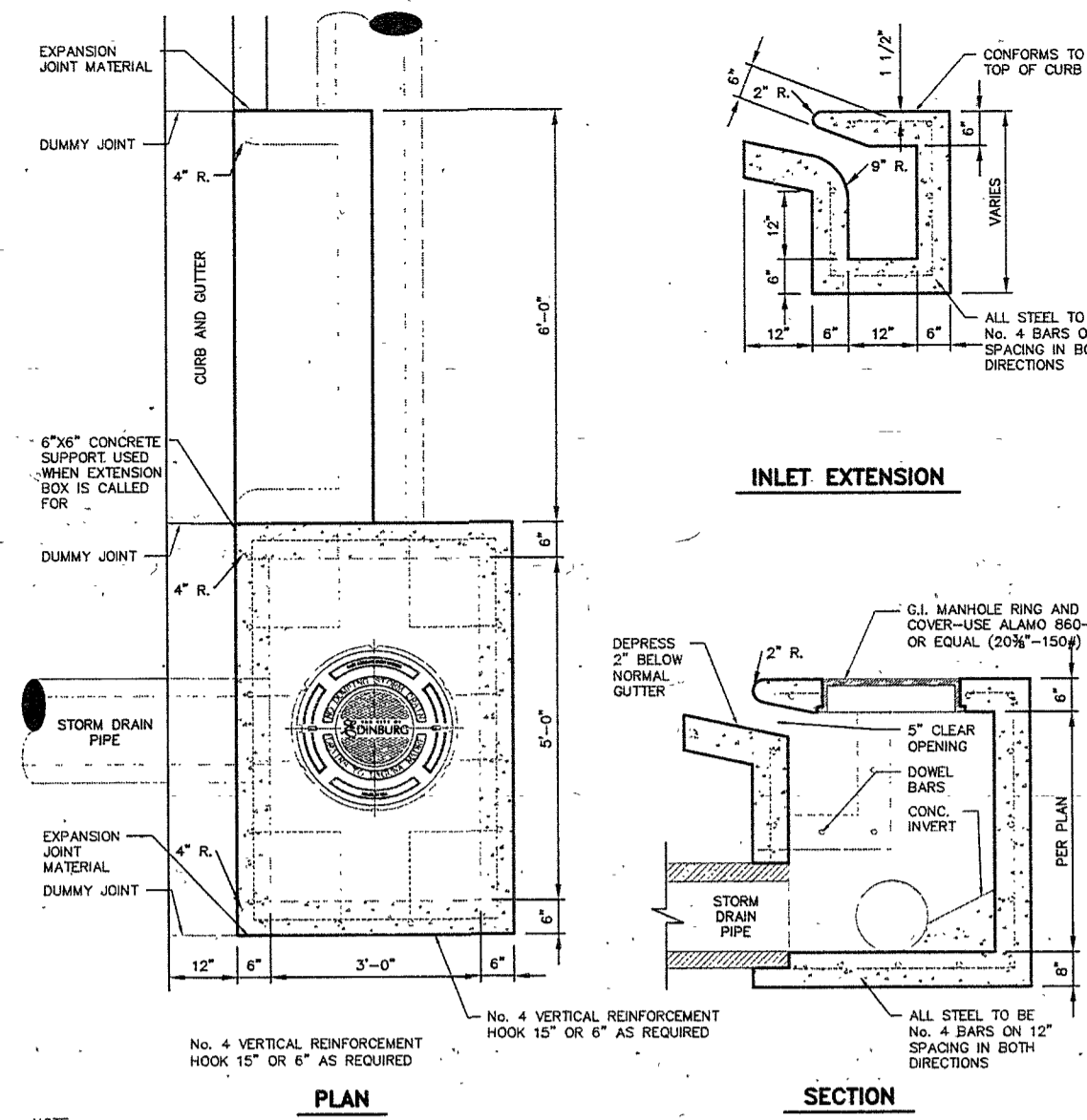
SECTION B-B

SUBDIVISION MAP OF  
 ENSENADA ESTATES SUBDIVISION  
 BEING 18.250 ACRES OUT OF  
 LOT 6, BLOCK 249,  
 TEXAS-MEXICAN RAILWAY COMPANY SURVEY  
 VOLUME 1, PAGE 21, H.C.M.R.  
 HIDALGO COUNTY, TEXAS



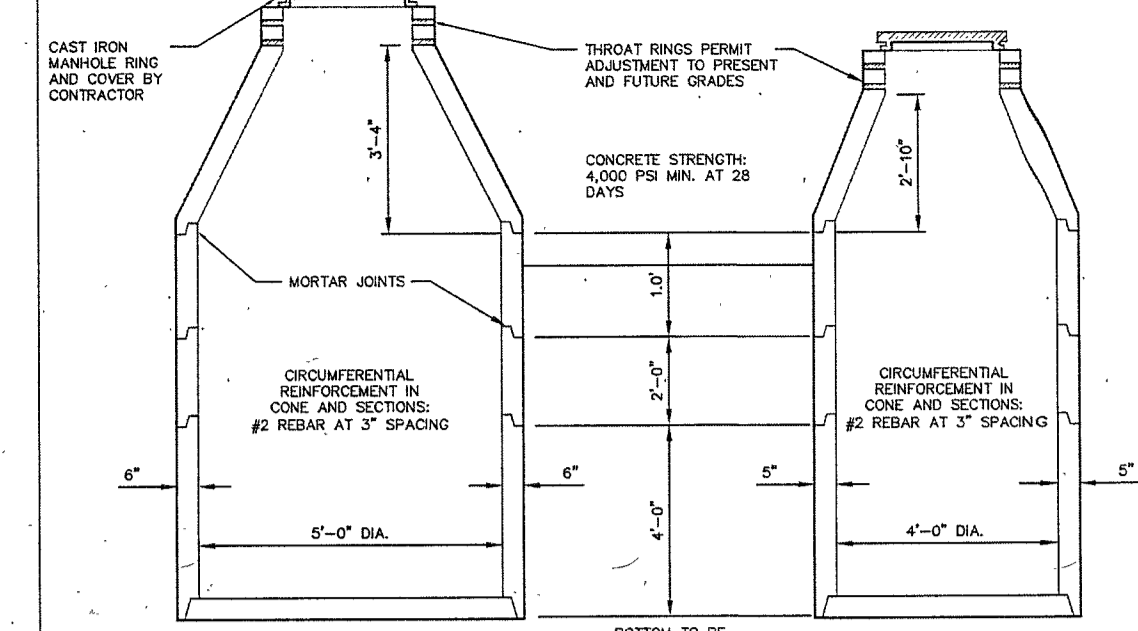
SECTION "A-A"

N.T.S.



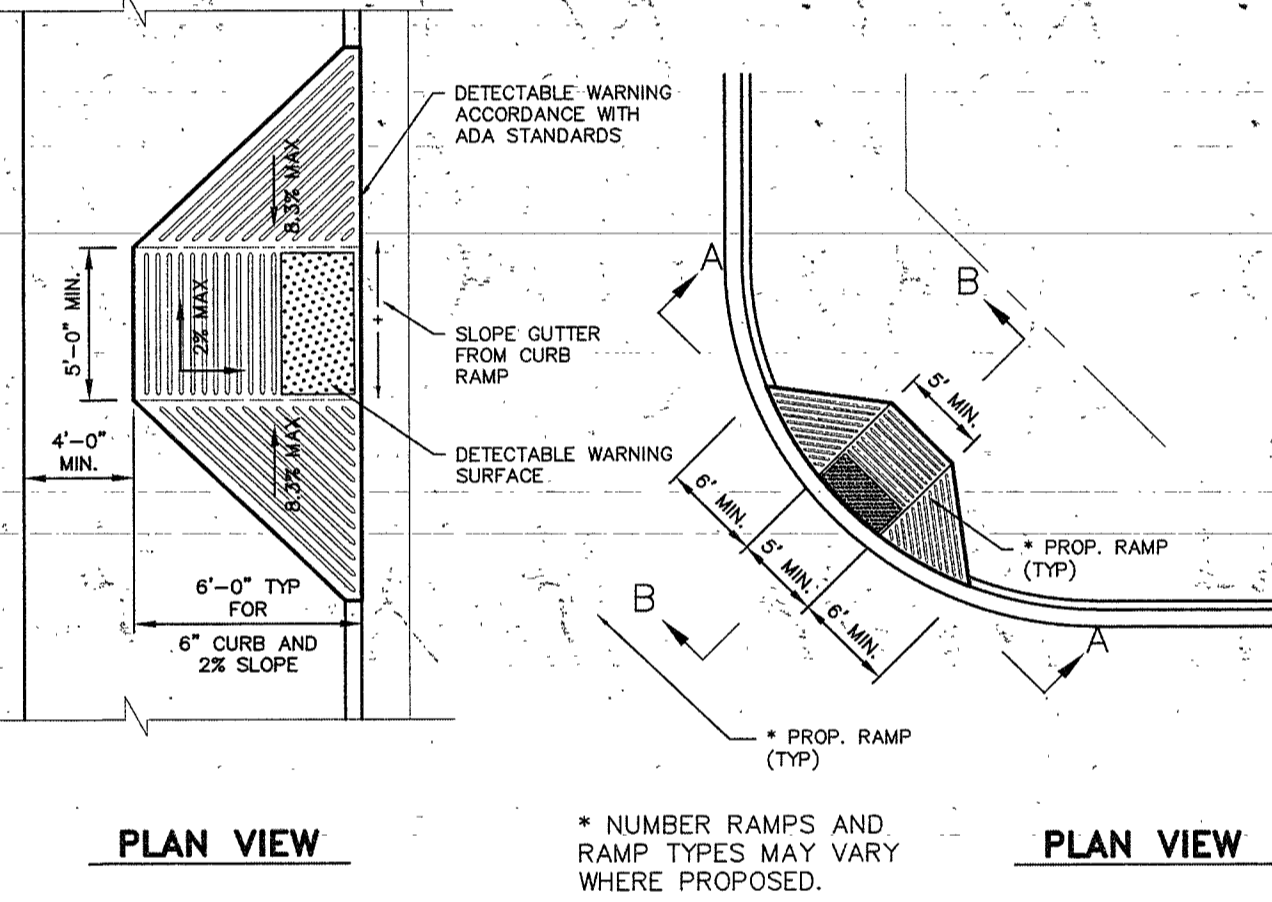
D-2

TYPE "A" INLET WITH EXTENSION - DETAILS



D-4

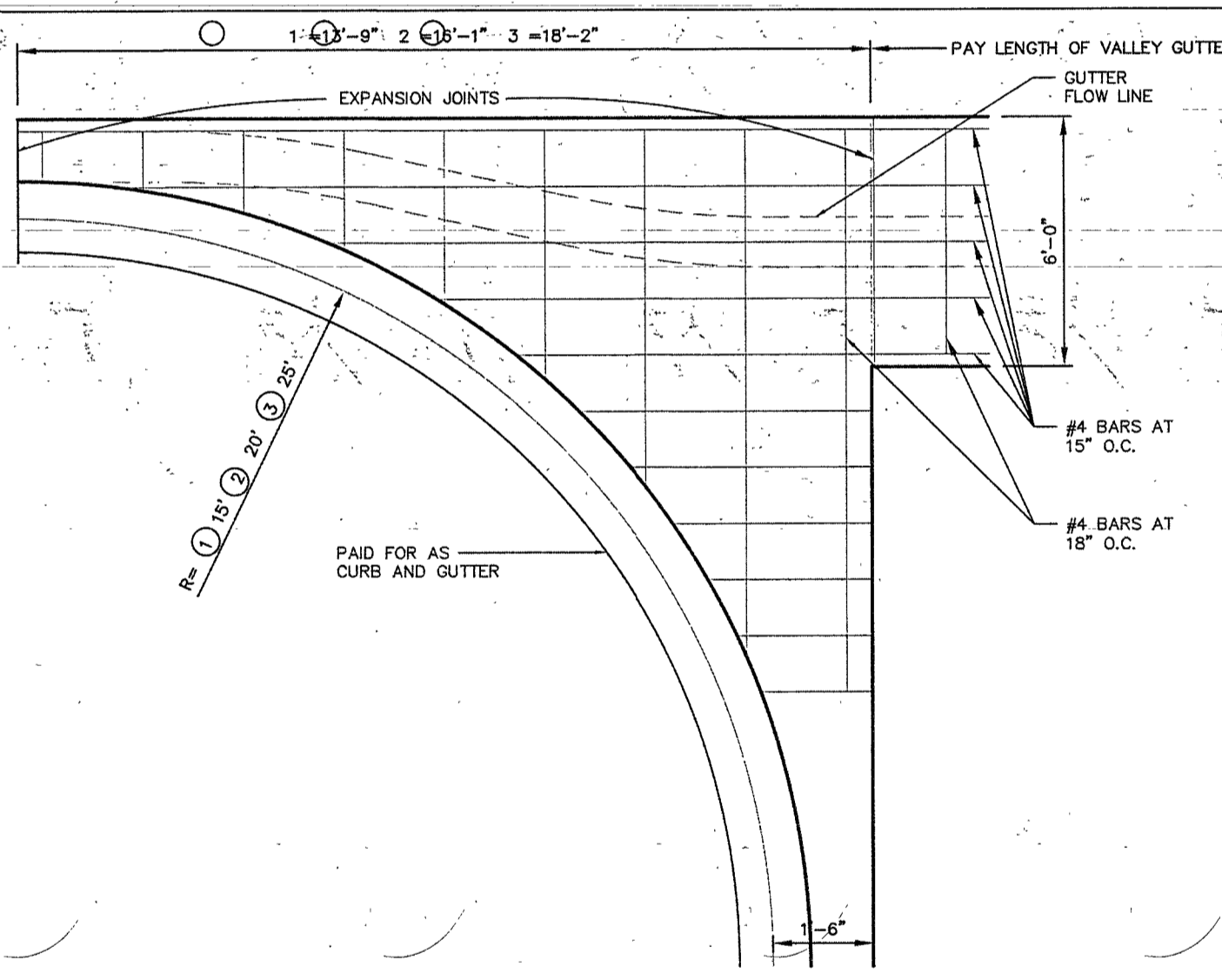
PRECAST CONCRETE MANHOLES - DETAILS



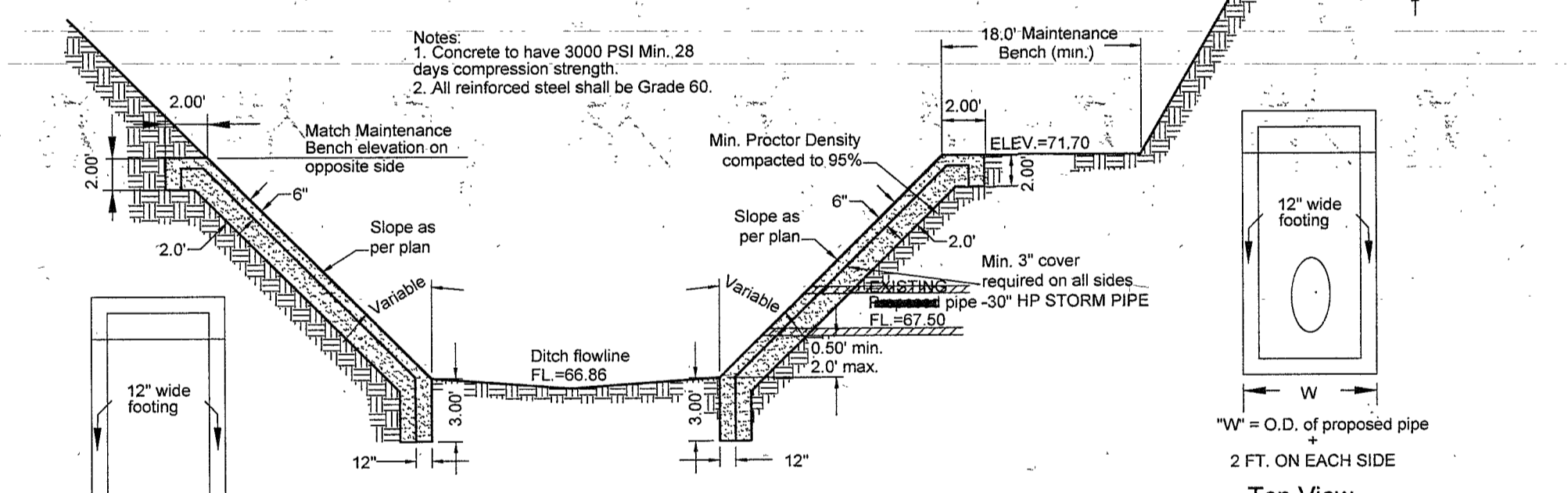
PLAN VIEW

PLAN VIEW

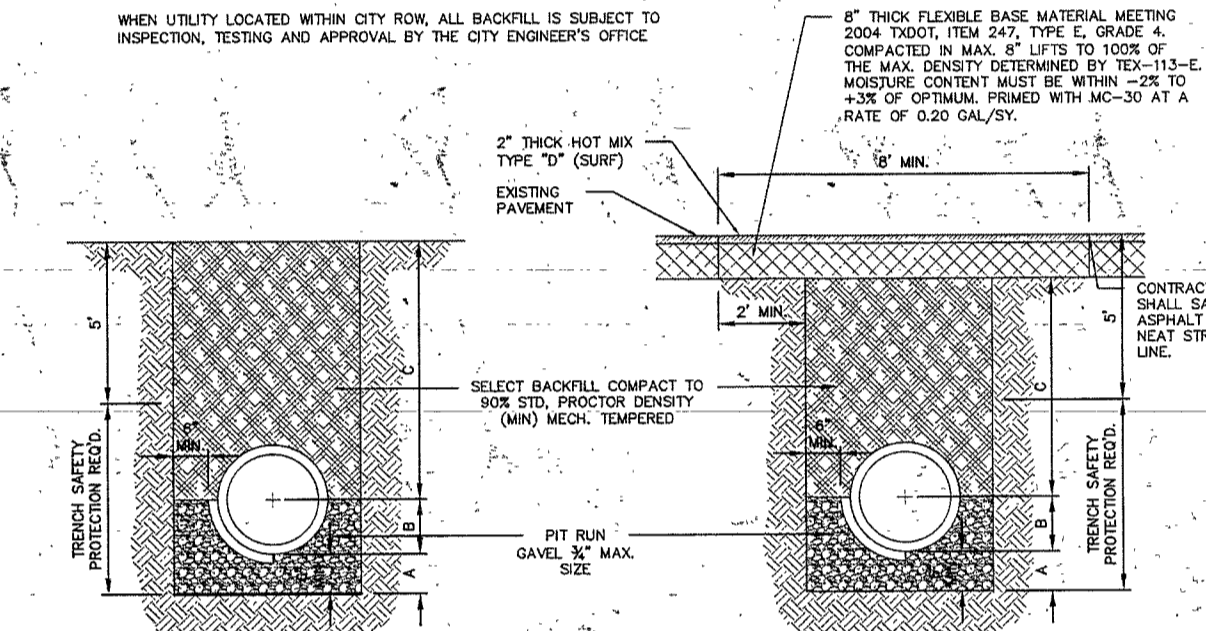
SECTION A-A



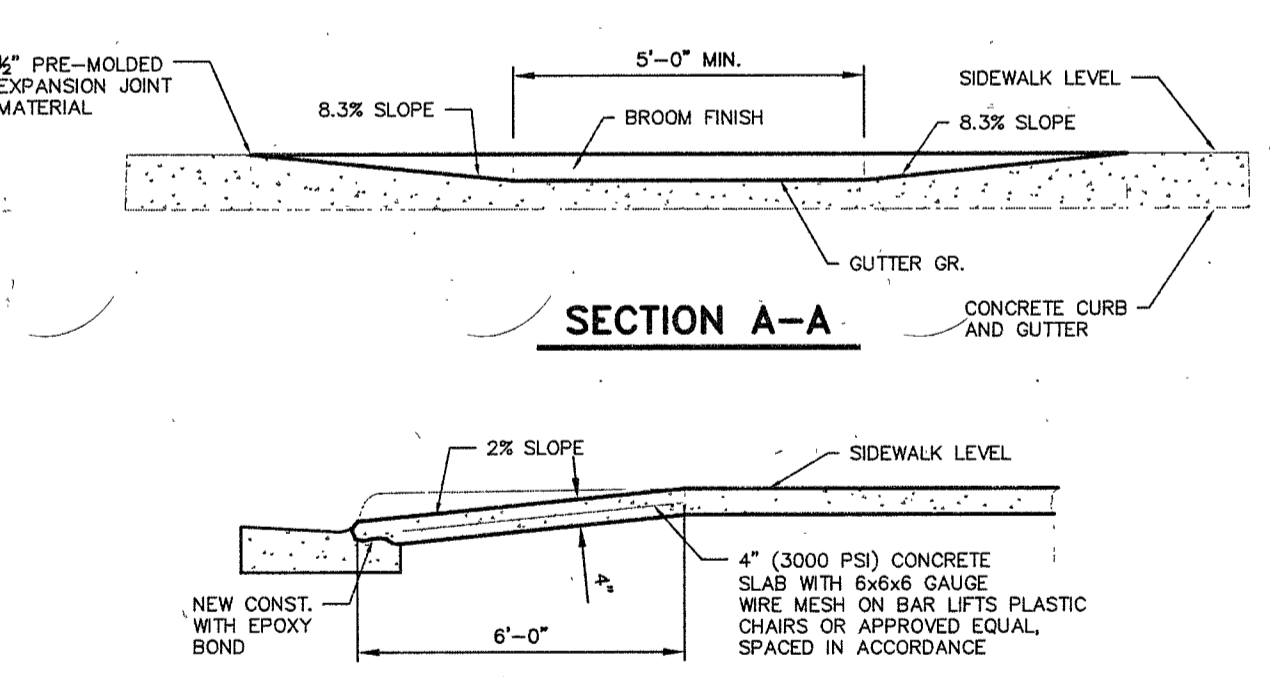
VALLEY GUTTER DETAIL



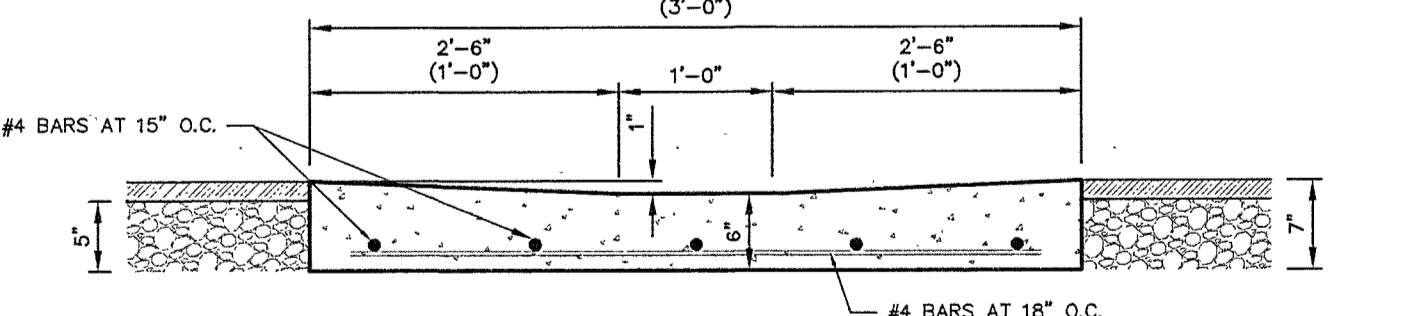
H.C.D.#1 STORM DISCHARGE STRUCTURE (DITCH WITH BENCH)



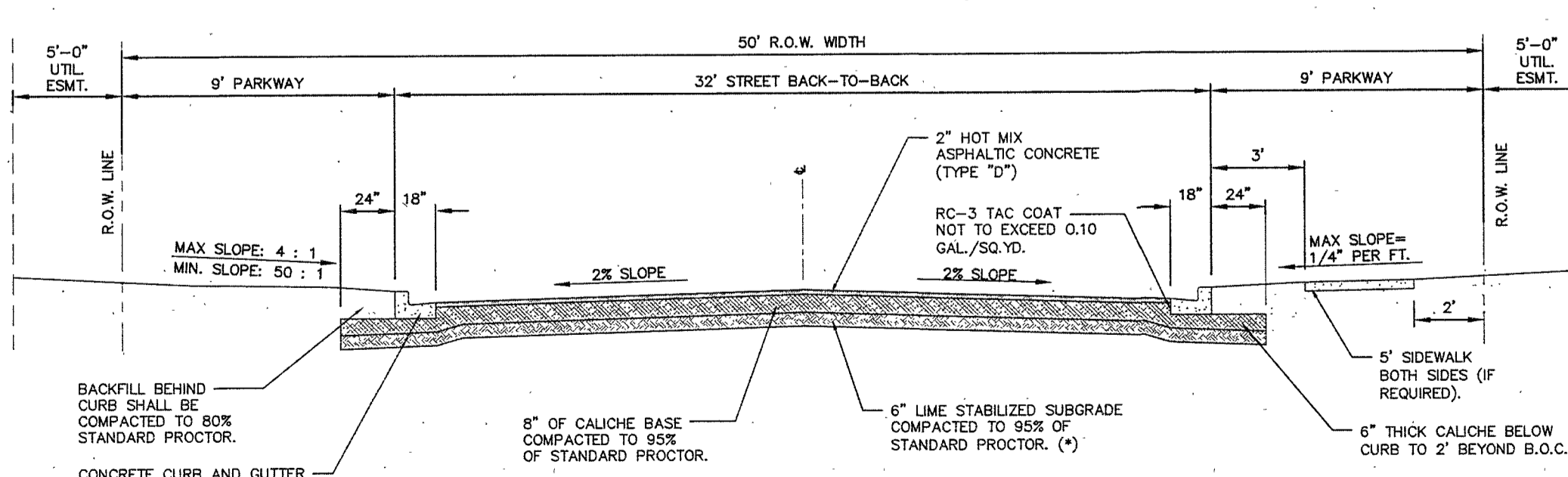
STANDARD PIPE BEDDING - DETAILS



SECTION B-B

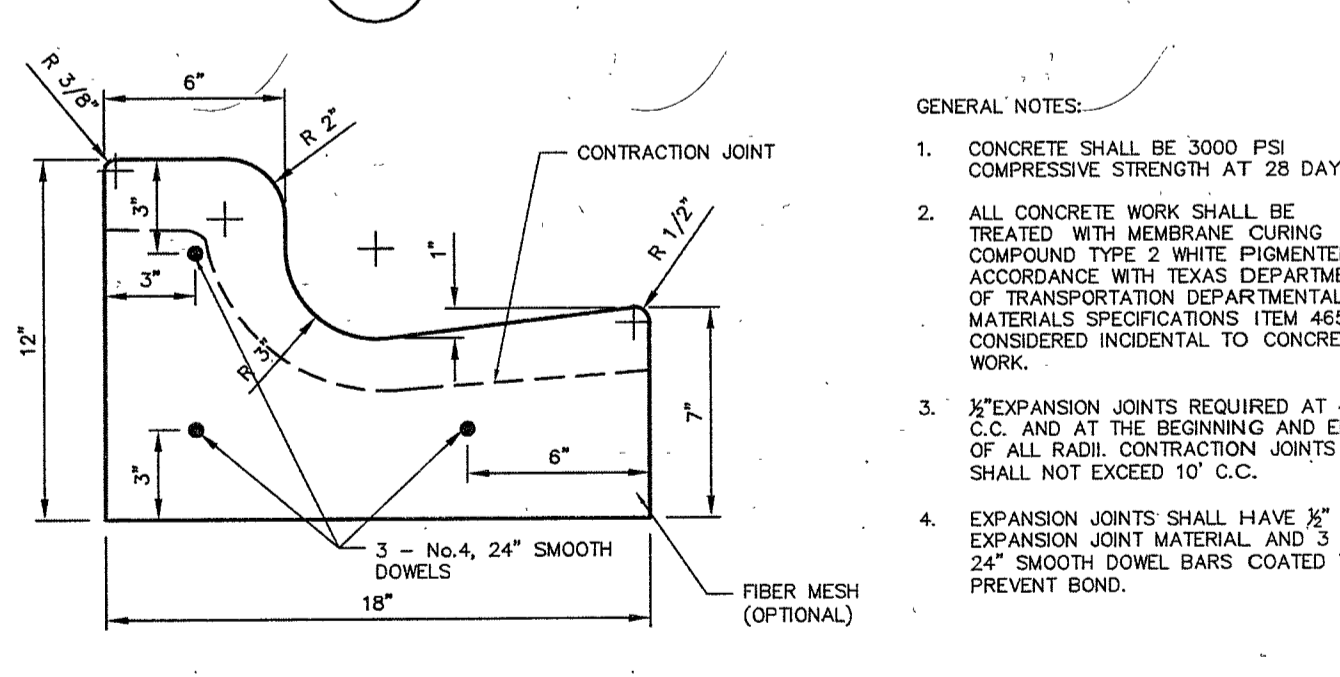


P-9 TYPICAL VALLEY GUTTER SECTION

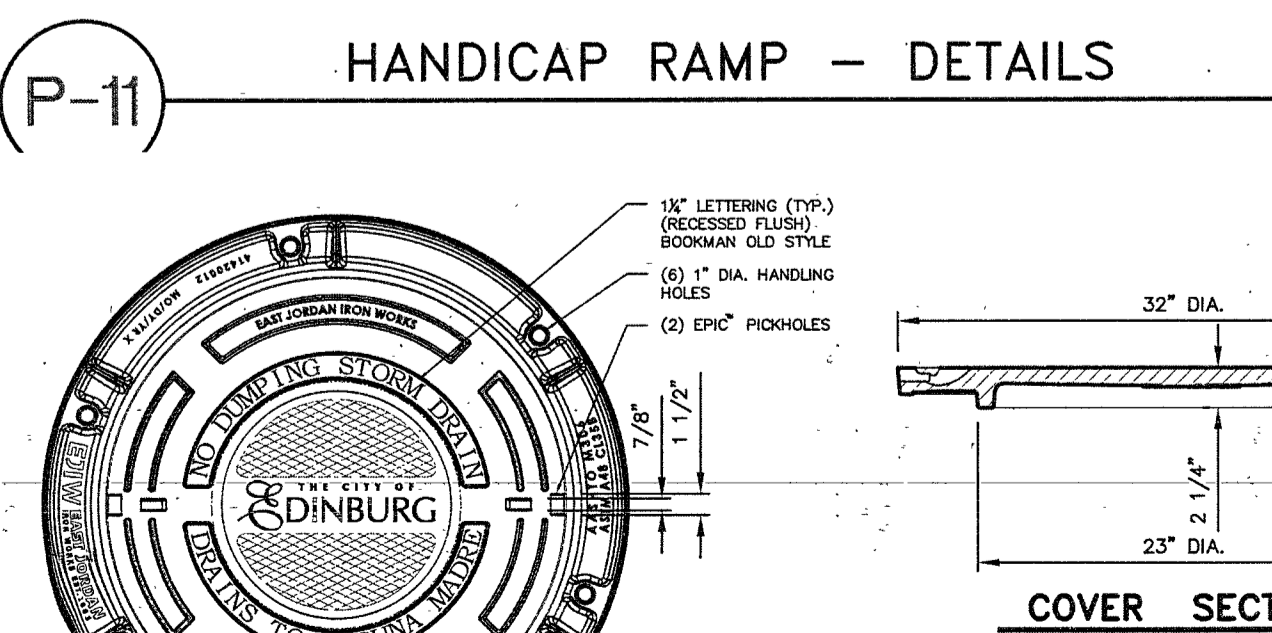


P-1

MINOR RESIDENTIAL STREET SECTION (32' BB - 50' R.O.W.) - DETAIL

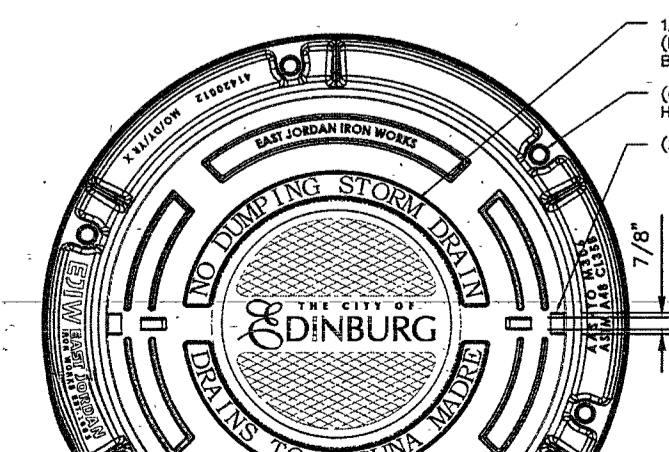


D-8 STANDARD PIPE BEDDING - DETAILS



P-11

HANDICAP RAMP - DETAILS



D-10

CITY STANDARD ROADWAY MANHOLE RING AND COVER CASTING DETAIL

Retained on Sq. Sieve	Percent Required
2"	0
3"	20 - 60
4"	40 - 95
No. 40	70 - 90
Max. No. of	15
Max. Wet Ball Pt.	15
Wet Ball Mill Max. Amount	50

